

PANEL 5: FORM BASED REGIONAL PLANNING & COMMUNITY COLLABORATION

Placemaking at Fort Ord: A Form-Based Approach to Creating Communities of Value

Stefan Pellegrini, RA, AICP, LEED AP, Opticos Design, Inc.



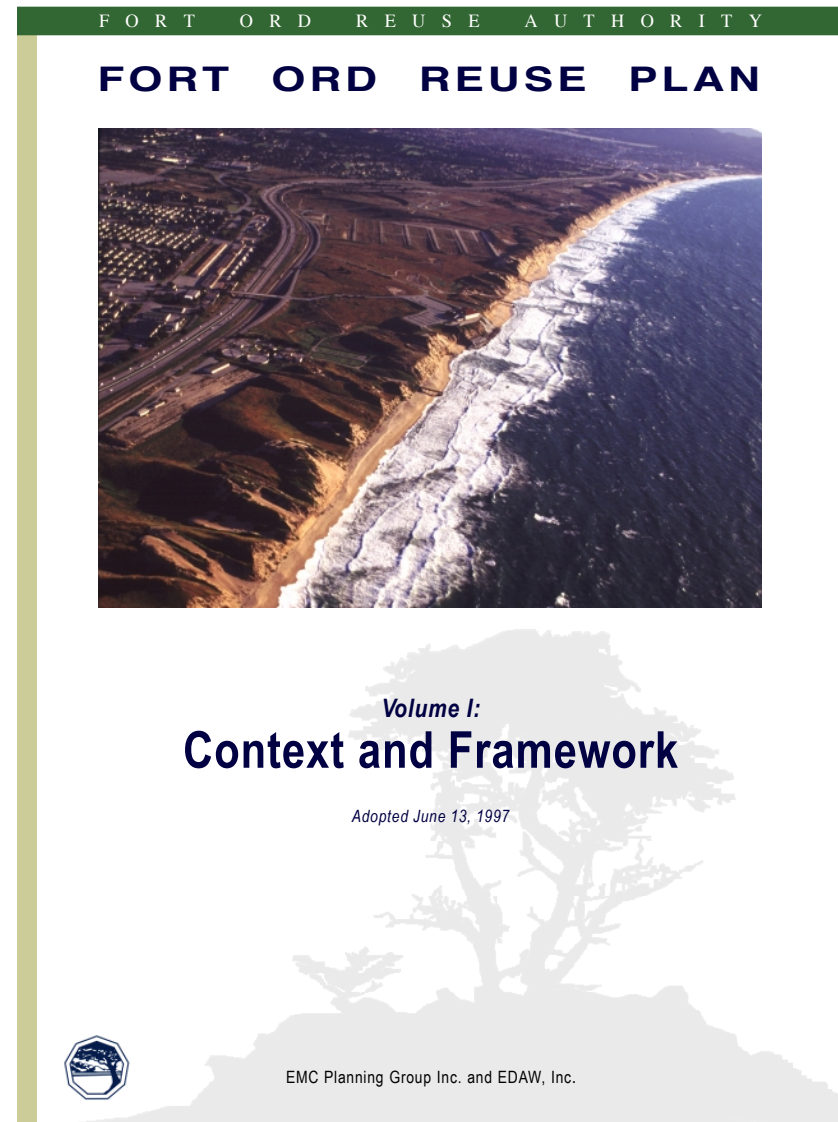
California State University
MONTEREY BAY
Extraordinary Opportunity



Fort Ord Reuse Plan - 1997 - Design Principles

“Establish a Mixed-Use Development Pattern with Villages as a Focal Point”

“Establish Diverse Neighborhoods as the Building Blocks of Community”

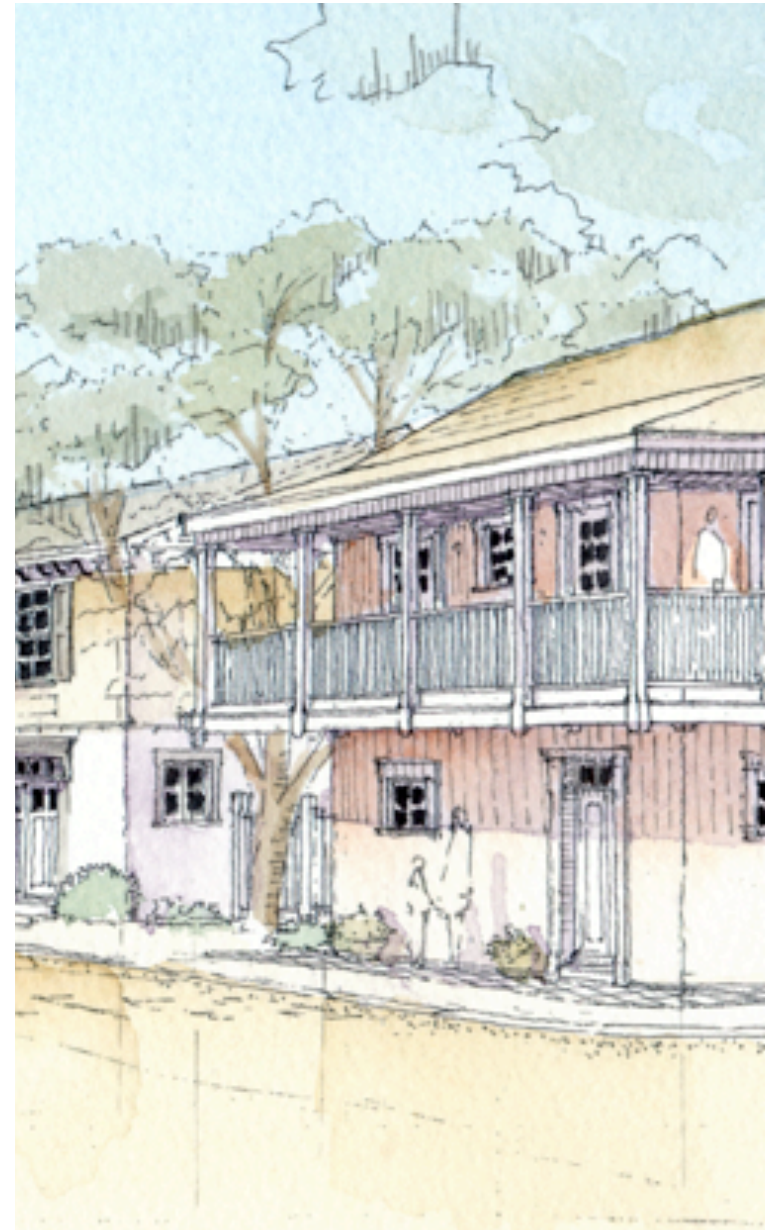


Planned Development Mixed Use?

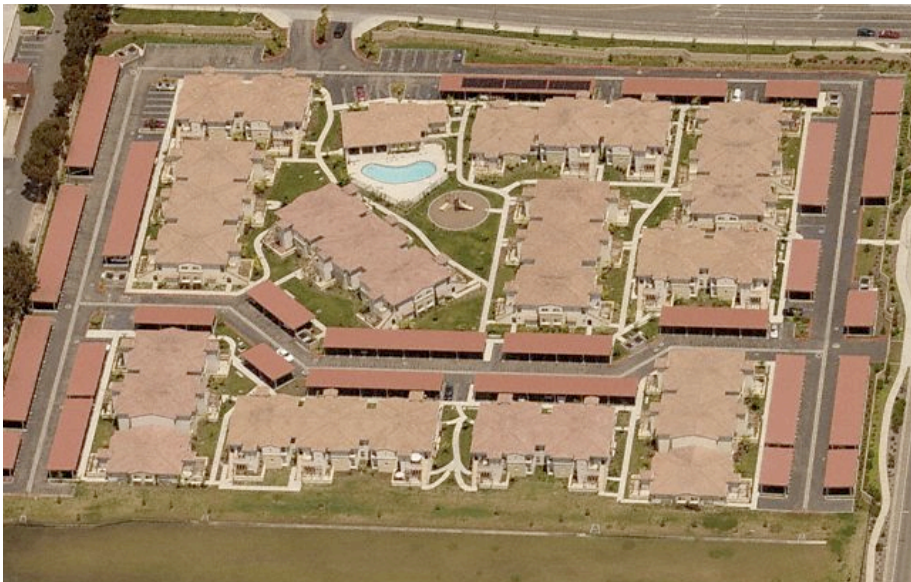
This designation is intended to encourage the development of **pedestrian-oriented community centers** that support a wide variety of commercial, residential retail, professional services, cultural and entertainment activities. The intent is to locate this designation **near future transit facilities or along transit corridors**, and near commercial and employment centers. This designation creates a transition from existing developed urban centers and lower density residential and institutional districts.

Gross FAR to .35

Density to 20 du/Acre



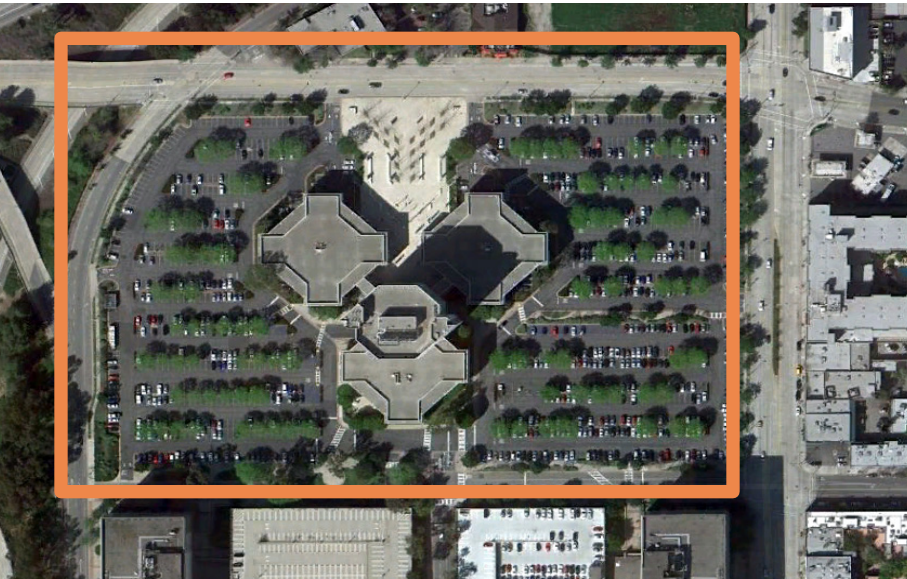
Density = 30 du/acre



“Podded” Density

Courtyard Housing integrated into a Neighborhood

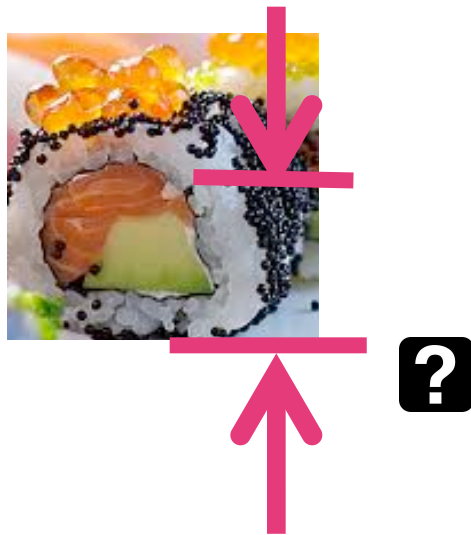
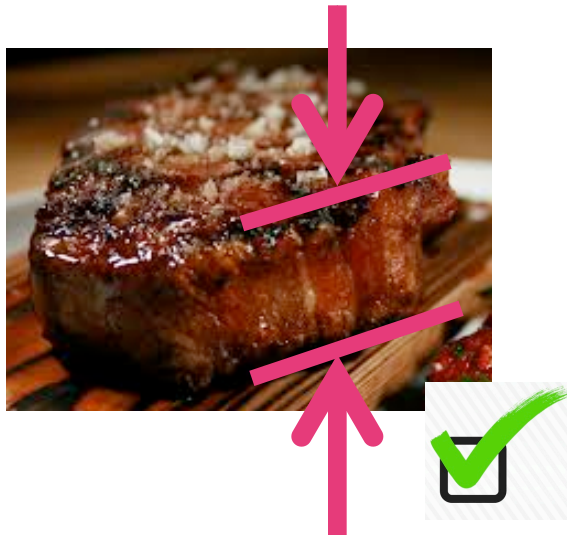
FAR = .60



3 at 3 stories
1 at 12 stories

2-story building on
2/3 of site

Would you describe other things this way?



Behind Every Good Land Use Plan is a
Great Zoning Ordinance

In Every Great Zoning Ordinance is a
Fantastic Form-Based Code

Zoning's Ongoing Evolution

Conventional Use-Based Zoning

Drivable Suburban Places



Higher parking requirements
(Less walking and access to transit)

Larger public and private open space
required due to isolation

“Podded” densities and uses

Specific Uses allowed



Form-Based Zones/ Transect

Walkable Urban Places



Lower parking requirements
(More walking, access to transit)

Public realm = Public space

Blended density (variety of types)

Mixed use environments

Uses more flexible based on
operational characteristics



Walkable Urbanism

1. Current demand for small lot and attached housing exceeds the current supply by 35 million units (C. Nelson).
2. 30-40% of buyers want to live in walkable urban places and only 5-10% is being provided in any given market (C. Leinberger).
3. By 2025, 75-85% of households will not have children.



Public Health

“Obesity costs this country about \$150 billion a year... Approximately one in three adults and one in six children are obese. Obesity is epidemic in the United States today and a major cause of death, attributable to heart disease, cancer, and diabetes.”

Center for Disease Control, 2011

“People who live in neighborhoods with a mix of shops and businesses within easy walking distance have a 35% lower risk of obesity”

Lawrence Frank, et al
American Journal of Preventative Medicine, 2004



Climate Change

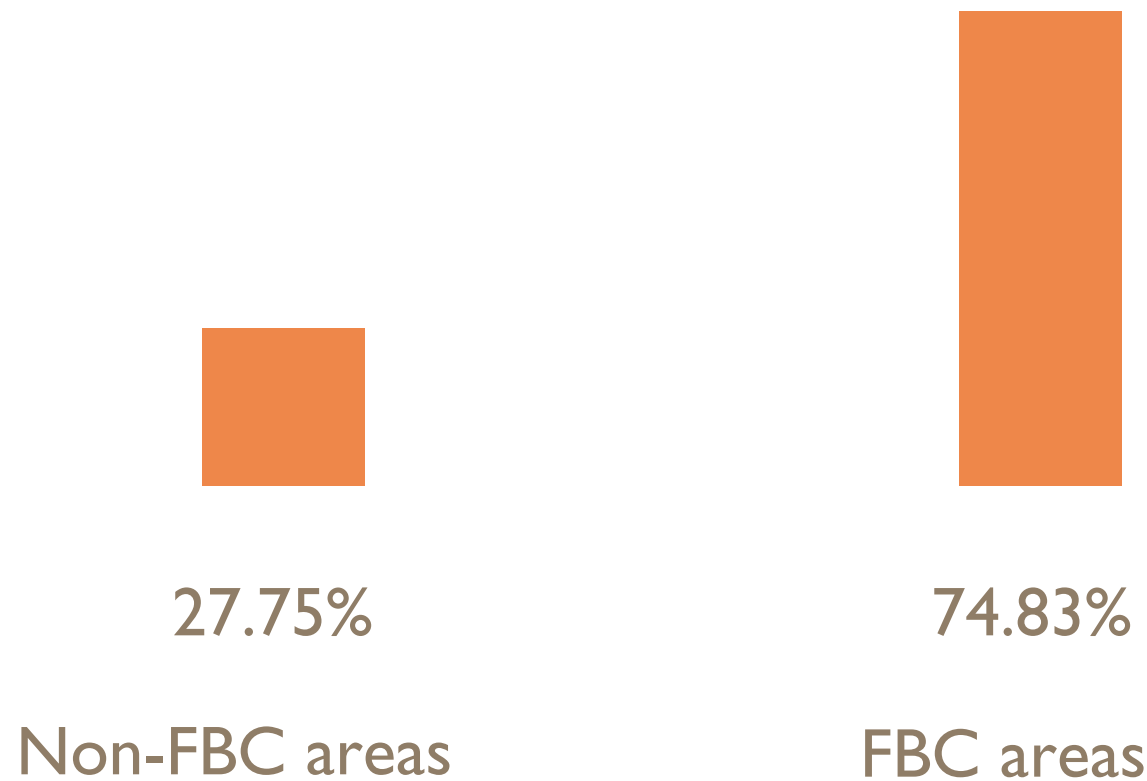
“much of the rise in vehicle emissions can be curbed simply by growing in a way that will make it easier for Americans to drive less...

..The term “compact development” does not imply high-rise or even uniformly high density, but rather **higher average “blended” densities**. Compact development also features a mix of land uses, development of strong population and employment centers, interconnection of streets, and the design of structures and spaces at a human scale..”

“Growing Cooler” -Ewing



Economic Benefits

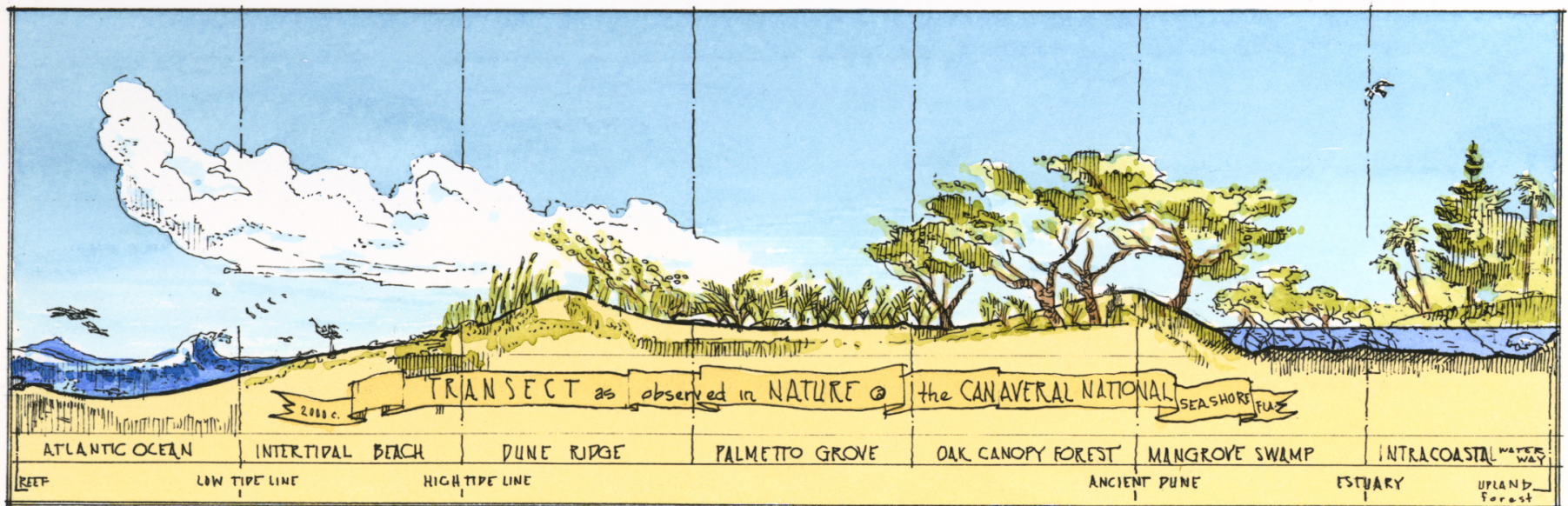


Nashville – Davidson County region

Form-Based Codes - Definition

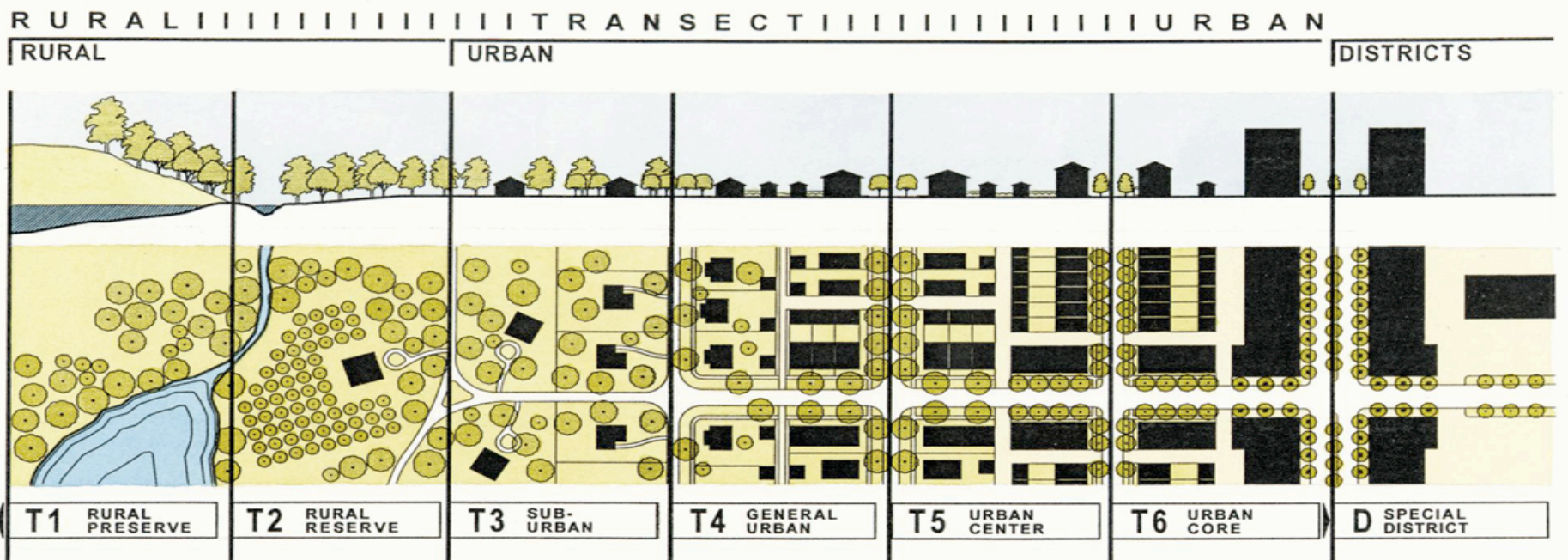
"Form-Based Codes foster predictable built results and a high-quality public realm by **using physical form (rather than separation of uses) as the organizing principle for the code.** They are regulations, not mere guidelines. They are adopted into city or county law. Form-Based Codes are an alternative to conventional zoning."

Form-Based Code Institute

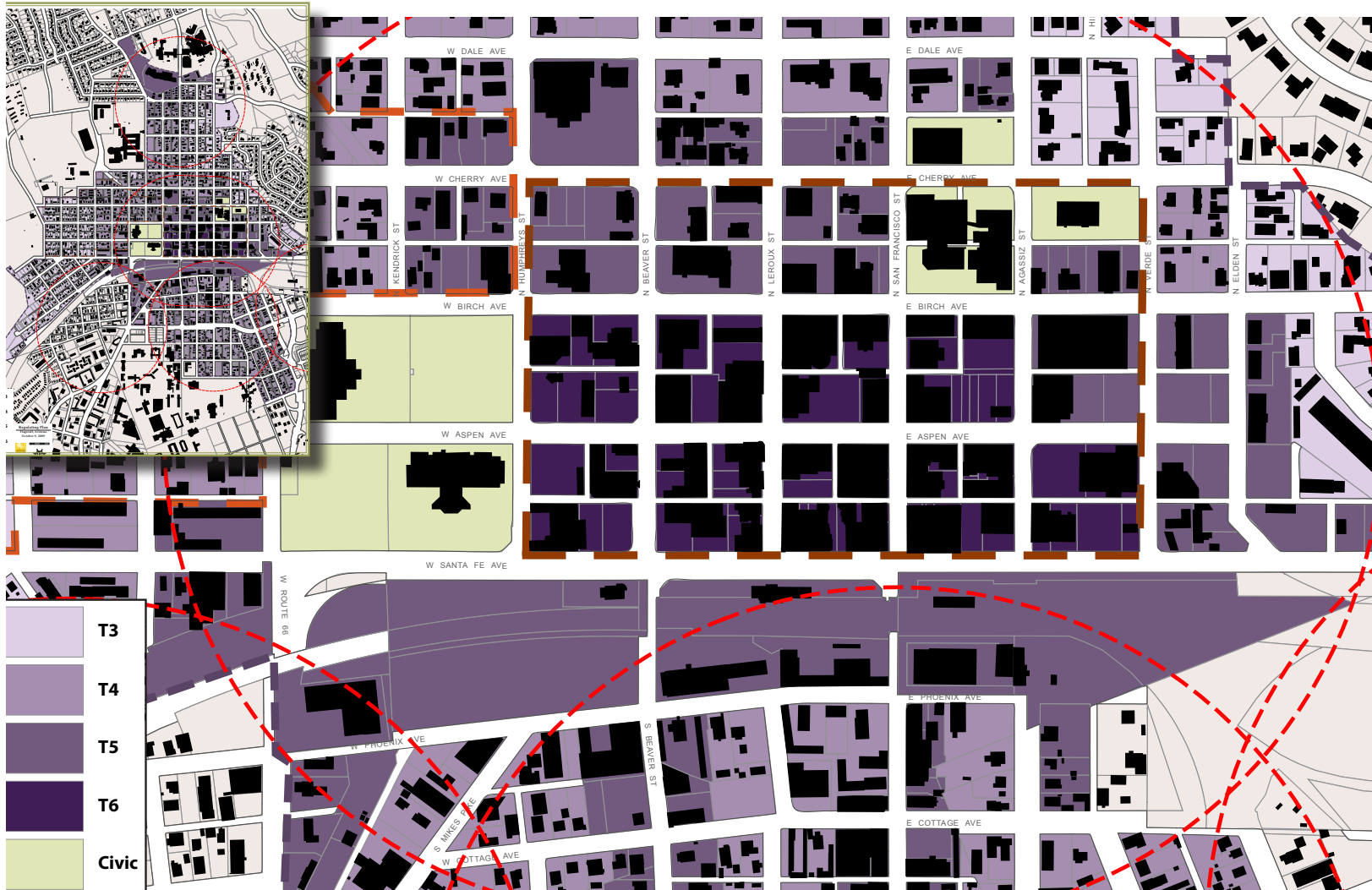


Title: A natural Transect Illustration

Source: James Wassell



Regulating Plan

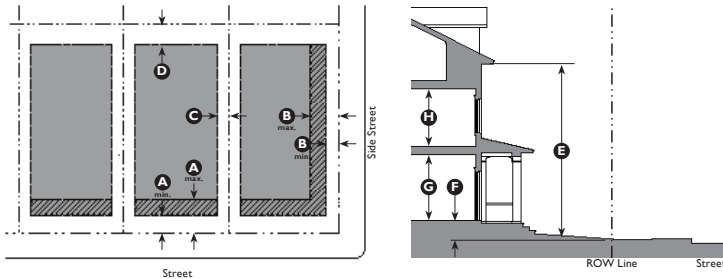


Flagstaff, Arizona: Development Code Update

Building Form Standards

10-40.40.080

T4 Neighborhood 2 (T4N.2) Standards



Key

- ROW/Property Line
- Building Setback Line
- Building Area
- Facade Area

D. Building Placement

Setback (Distance from ROW/Property Line)

Principal Building		
Front ¹	5' min.; 12' max.	A
Front facade within area	50% min.	
Side Street/Civic Space	10' min.; 15' max.	B
Side ²	3' min.	C
Rear	3' min.	D
Outbuilding		
Front	20' min.	
Side	0' min.; 3' max.	
Rear	3' min.	

¹Setback may match an existing adjacent building as follows. The building may be set to align with the facade of the frontmost immediately adjacent property, for a width no greater than that of the adjacent property's facade that encroaches into the minimum setback.

²No side setback required between townhouse and/or live/work building types.

Miscellaneous

Upper-floor units must have a primary entrance along a street or courtyard facade.

Ground-floor residential units along a street must have individual entries.

E. Building Form³

Height

Principal Building		
Stories	4 Stories max.	
To Eave/Parapet	40' max.	E
Overall	52' max.	
Outbuilding		
2 Stories max.		
To Eave/Parapet	18' max.	
Overall	28' max.	
Ground Floor Finish Level	18" min. above sidewalk	F
Ground Floor Ceiling	9' min. clear	G
Upper Floor(s) Ceiling	8' min. clear	H

³ See Division 10-50.100 (Specific to Building Types) for additional building form regulations.

Footprint

Depth, ground-floor residential	30' min.
space along primary street frontage	
Lot Coverage	80% max.

Miscellaneous

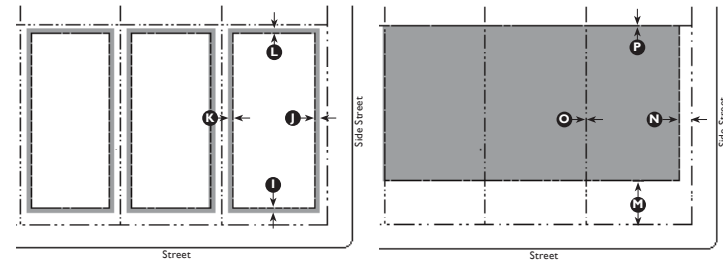
Mansard roof forms are not allowed.

10-74

Flagstaff Zoning Code

10-40.40.080

T4 Neighborhood 2 (T4N.2) Standards



Key

- ROW/Property Line
- Building Setback Line
- Encroachment Area

F. Encroachments and Frontage Types

Encroachments⁴

Front	5' max.	I
Side Street/Civic Space	5' max.	J
Side	3' max.	K
Rear		L
Property Line	0' max.	
Rear Lane or Alley	3' max.	

Galleries may encroach in to street ROW, all other encroachments are not allowed within a street ROW.

⁴See Section 10-50.35 (Encroachments) for allowed encroachments.

Allowed Private Frontage Types⁵

Stoop	Forecourt
Gallery ⁶	Terrace/Lightwell ⁶
Shopfront ⁶	Porch

⁵See Division 10-50.30 (Specific to Private Frontage Types) for private frontage type descriptions and regulations.

⁶Allowed only in open sub-zone(s).

Key

- ROW/Property Line
- Parking Setback Line
- Parking Area

G. Required Parking

Spaces⁷

Residential Uses		
Studio/I Bedroom	1 space/unit min.	
2+ Bedrooms	2 spaces/unit min.	
Retail Trade, Service Uses		
≤2,000 sf	No spaces required	
>2,000 sf	2 spaces/1,000 sf min. above first 2,000 sf	

⁷Use types not listed shall meet the requirements in Table 10-50.70.040.A (Automobile Parking Spaces Required).

Location (Setback from ROW/Property Line)

Front		
Covered/Attached	30' min.	M
Uncovered	Match front facade min.	
Side Street/Civic Space	5' min.	N
Side	0' min.	O
Rear	0' min.	P

Miscellaneous

Linear feet of front or side facade that may be garage 35% max.
See Division 10-50.70 (Parking Standards) for additional parking regulations.

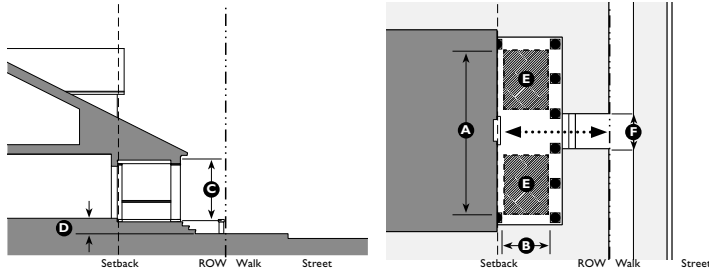
Flagstaff Zoning Code

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Frontage Type Standards

4.03.050

Frontage Standards



Key

- ROW / Property Line
- Setback Line

4.03.050 Porch: Integral

Description

The main facade of the building has a small setback from the property line. The resulting front yard is typically very small and may be undefined or defined by a fence or hedge to spatially maintain the edge of the street. An integral porch is part of the overall massing and roof form of a building. With an integral porch it is not possible to remove the porch without major changes to the overall roof form.

Size

Width, clear	8' min.	A
Depth, clear	8' min.	B
Height, clear	8' min.	C
Finish level above sidewalk	18" min.	D
Furniture area, clear	4' x 8' min.	E
Path of travel	3' wide min.	F

Miscellaneous

The porch may be one or two stories.

Integral porches may be enclosed on up to two sides and have a roof.



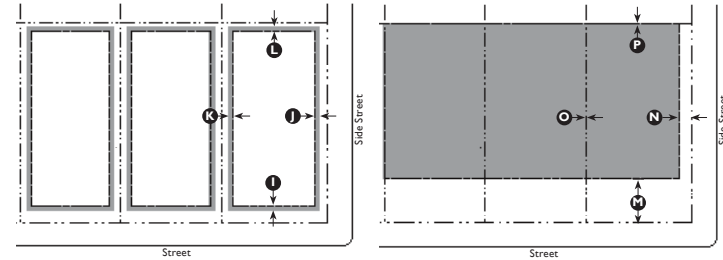
Partial-length integral porch integrated into the overall massing.



Full-length integral porch integrated into the overall massing.

10-40.40.080

T4 Neighborhood 2 (T4N.2) Standards



Key

- ROW/Property Line
- Building Setback Line
- Encroachment Area

F. Encroachments and Frontage Types

Encroachments⁴

Front	5' max.	I
Side Street/Civic Space	5' max.	J
Side	3' max.	K
Rear		L
Property Line	0' max.	
Rear Lane or Alley	3' max.	

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⁴See Section 10-50.35 (Encroachments) for allowed encroachments.

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Shopfront ⁶	Porch

⁵See Division 10-50.30 (Specific to Private Frontage Types) for private frontage type descriptions and regulations.

⁶Allowed only in open sub-zone(s).

Key

- ROW/Property Line
- Parking Setback Line
- Parking Area

G. Required Parking

Spaces⁷

Residential Uses	
Studio/I Bedroom	1 space/unit min.
2+ Bedrooms	2 spaces/unit min.
Retail Trade, Service Uses	
≤2,000 sf	No spaces required
>2,000 sf	2 spaces/1,000 sf min. above first 2,000 sf

⁷Use types not listed shall meet the requirements in Table 10-50.70.040.A (Automobile Parking Spaces Required).

Location (Setback from ROW/Property Line)

Front		M
Covered/Attached	30' min.	
Uncovered	Match front facade min.	
Side Street/Civic Space	5' min.	N
Side	0' min.	O
Rear	0' min.	P

Miscellaneous

Linear feet of front or side
façade that may be garage 35% max.
See Division 10-50.70 (Parking Standards) for additional parking regulations.

Building Type Standards

5.01.070

Building Types

5.01.070 Duplex, Stacked

General Note: the drawings and photos below are illustrative.



The entry to the right opens to a stair leading to the upper unit, which takes up the entire upper floor. The door to the left opens directly into the lower unit, which takes up the entire lower floor.

A. Description

This Duplex building type consists of structures that contain two units, one on top of the other. This building type has the appearance of a medium to large single-family home. This type is typically integrated sparingly into single-family neighborhoods or more consistently into neighborhoods with other medium-density types such as bungalow courts, fourplexes, or courtyard apartments. This building type enables the incorporation of high-quality, well-designed density within a walkable neighborhood.

This is the preferred type of duplex on 50' wide lots in Livermore neighborhoods not zoned for single-family because it is capable of accommodating two units in a smaller footprint, thus maximizing compatibility in size and privacy to the rear of adjacent units.



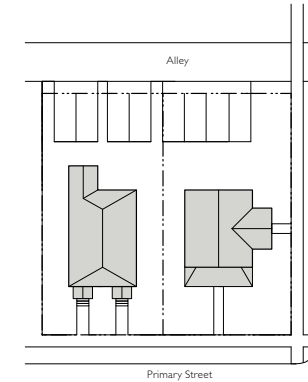
The scale of this duplex makes it compatible with adjacent single-family homes.

5-12

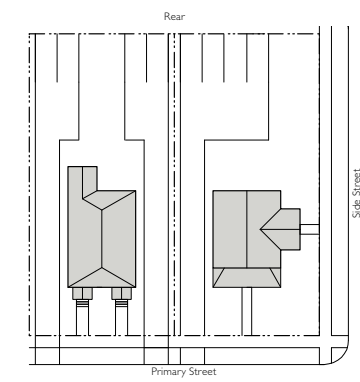
Livermore Development Code

Building Types

5.01.070



Typical Alley Loaded Plan Diagram



Typical Front Loaded Plan Diagram

Key

--- ROW / Property Line ■ Building Area

B. Lot	
Lot Size	
Width	50' min., 75' max.
Depth	100' min., 150' max.
C. Pedestrian Access	
Main Entrance Location	Primary street
On corner lots each unit shall front a different street.	
D. Frontages	
Allowed Frontages	
Porch	
Stoop	
E. Vehicle Access and Parking	
Parking spaces may be enclosed, covered, or open.	

F. Open Space, Usable	
Width	15'/unit min.
Depth	15'/unit min.
Open Space Area	300 sf min.
Required street setbacks and driveways shall not be included in the open space area calculation.	
G. Building Size and Massing	
Main Body	
Width	36' max.
Secondary Wing	
Width	24' max.
Detached Garage	
Width	36' max.
Depth	25' max.
H. Miscellaneous	
Both units shall have entries facing the street no more than 10' behind the front façade.	

Livermore Development Code

5-13

Civic Space Standards

Civic Space Types

10-70.10.030

Table 10-70.10.030.A Civic Spaces

TRANSECT ZONE	T1 T2 T3 T4 T5 T6	T1 T2 T3 T4 T5 T6	T1 T2 T3 T4 T5 T6
Civic Space Type	Park	Greenway	Green
Illustration			
Description	A natural preserve available for unstructured recreation.	A linear space in largely natural conditions for unstructured recreation.	An open space, available for unstructured recreation.
Size and Location			
Size			
Minimum	8 acres	8 acres	1/2 acre
Maximum	-	-	8 acres
Frontage	Independent	Independent/Building Frontage	Independent/Building Frontage
Character	Natural	Natural	Natural
Typical Uses			
	Passive/Active (Unstructured) Open Space, Civic Uses, Paths and Trails, Woodland and Open Shelters, Community Gardens, Playgrounds	Passive/Active (Unstructured) Open Space, Civic Uses, Trails for Bicycles and Pedestrians, Community Gardens, Playgrounds	Passive/Active (Unstructured) Open Space, Civic Uses, Community Gardens, Playgrounds
Stormwater Management			
	Integrated Runoff, Bioretention, Extended Detention Basins, Porous Pavements and Landscaping	Integrated Runoff, Bioretention, Extended Detention Basins, Porous Pavements and Landscaping	French Drains, Porous Pavements and Landscaping

Key T# Allowed T# Not Allowed

Flagstaff Zoning Code

70.10-3

10-70.10.030

Civic Space Types

Table 10-70.10.030.A Civic Spaces (continued)

TRANSECT ZONE	T1 T2 T3 T4 T5 T6	T1 T2 T3 T4 T5 T6	T1 T2 T3 T4 T5 T6
Civic Space Type	Square	Plaza	Pocket Plaza
Illustration			
Description	An open space available for unstructured recreation and civic purposes.	An open space available for civic purposes and commercial activities.	An open space available for civic purposes and commercial activities.
Size and Location			
Size			
Minimum	1/2 acre	1/2 acre	4,000 sf
Maximum	5 acres	2-1/2 acres	1/2 acre
Frontage	Independent	Independent/Building Frontage	Building Frontage
Character	Formal	Formal	Formal
Typical Uses			
	Passive/Active (Unstructured) Open Space, Civic Uses, Paths, Community Gardens, Playgrounds	Passive/Active (Unstructured) Open Space, Civic Uses, Commercial Uses, Community Garden, Playground	Passive/Active (Unstructured) Open Space, Civic Uses, Commercial Uses, Community Garden, Playground
Stormwater Management			
	French Drains, Porous Pavements, and Landscaping	French Drains, Porous Pavements, and Landscaping	French Drains, Porous Pavements, and Landscaping

Key T# Allowed T# Not Allowed

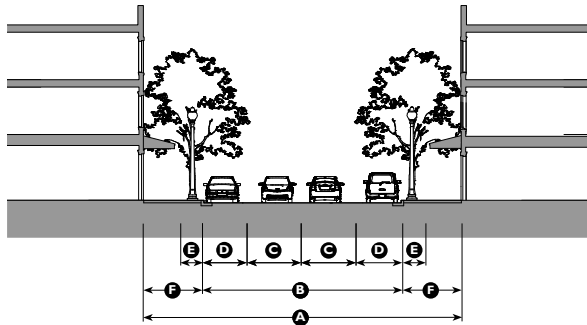
70.10-4

Flagstaff Zoning Code

Thoroughfare Standards

Thoroughfare Types

7.01.060



7.01.060 Neighborhood Main Street

Application	
Movement Type	Slow
Anticipated Design Speed	20 mph
Pedestrian Crossing	Bulb-outs encouraged to decrease pedestrian crossing time.
Transect Zones	T4MS T4MS-O
Overall Widths	
Right-of-Way (ROW)	60' A
Face-of-Curb to Face-of-Curb	36' B
Lanes	
Traffic Lanes	2 @ 10' (2-way travel) C
Bicycle Lanes	None
Parking Lanes	2 @ 8' parallel D
Medians	None

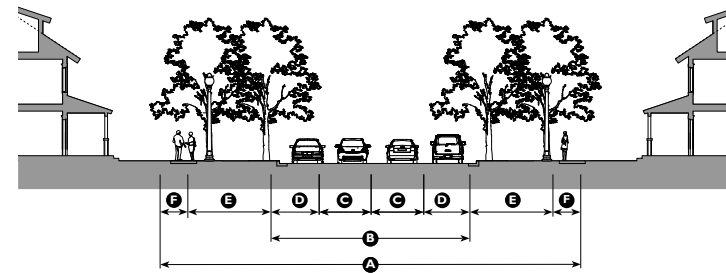
Edges	
Drainage Collection Type	Curb and gutter
Planter Type	4' x 4' tree grate, min. E
Lighting Type	Low, pedestrian oriented lighting
Walkway Type	12' sidewalk, F
Where gallery frontage is used, street trees are not required or allowed.	
Intersection	
Curb Radius	15' max. (bulb-outs recommended)
Distance Between Intersections	400' max.
Miscellaneous Requirements	
Transformations to existing streets shall match the designations set forth in the General Plan.	

Livermore Development Code

7-7

7.01.110

Thoroughfare Types



7.01.110 Retrofit: 18' Wide Planter Strip

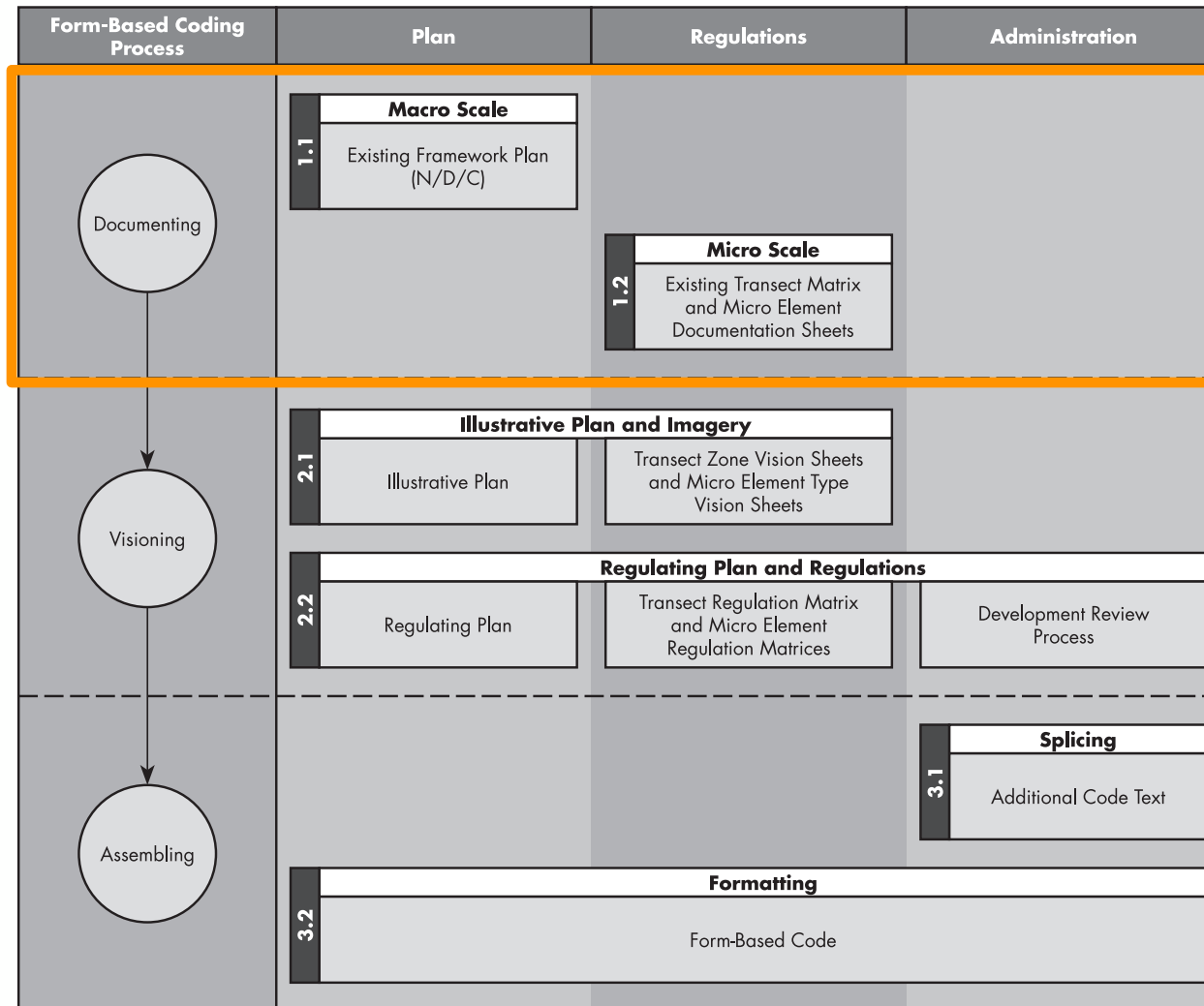
Application	
Movement Type	Slow
Anticipated Design Speed	20 mph
Pedestrian Crossing	Bulb-outs encouraged to decrease pedestrian crossing time.
Transect Zones	T4 N-O T4 N T3 N
Overall Widths	
Right-of-Way (ROW)	80' A
Face-of-Curb to Face-of-Curb	36' B
Lanes	
Traffic Lanes	2 @ 10' (2-way travel) C
Bicycle Lanes	None
Parking Lanes	2 @ 8' parallel D
Medians	None

Edges	
Drainage Collection Type	Curb and gutter
Planter Type	17' continuous E
Landscape Type	Medium trees @ 35' on center average
Lighting Type	Low, pedestrian oriented lighting
Walkway Type	5' sidewalk F
Intersection	
Curb Radius	15' max. (bulb-outs recommended)
Distance Between Intersections	600' max.
Miscellaneous Requirements	
Transformations to existing streets shall match the designations set forth in the General Plan.	

7-12

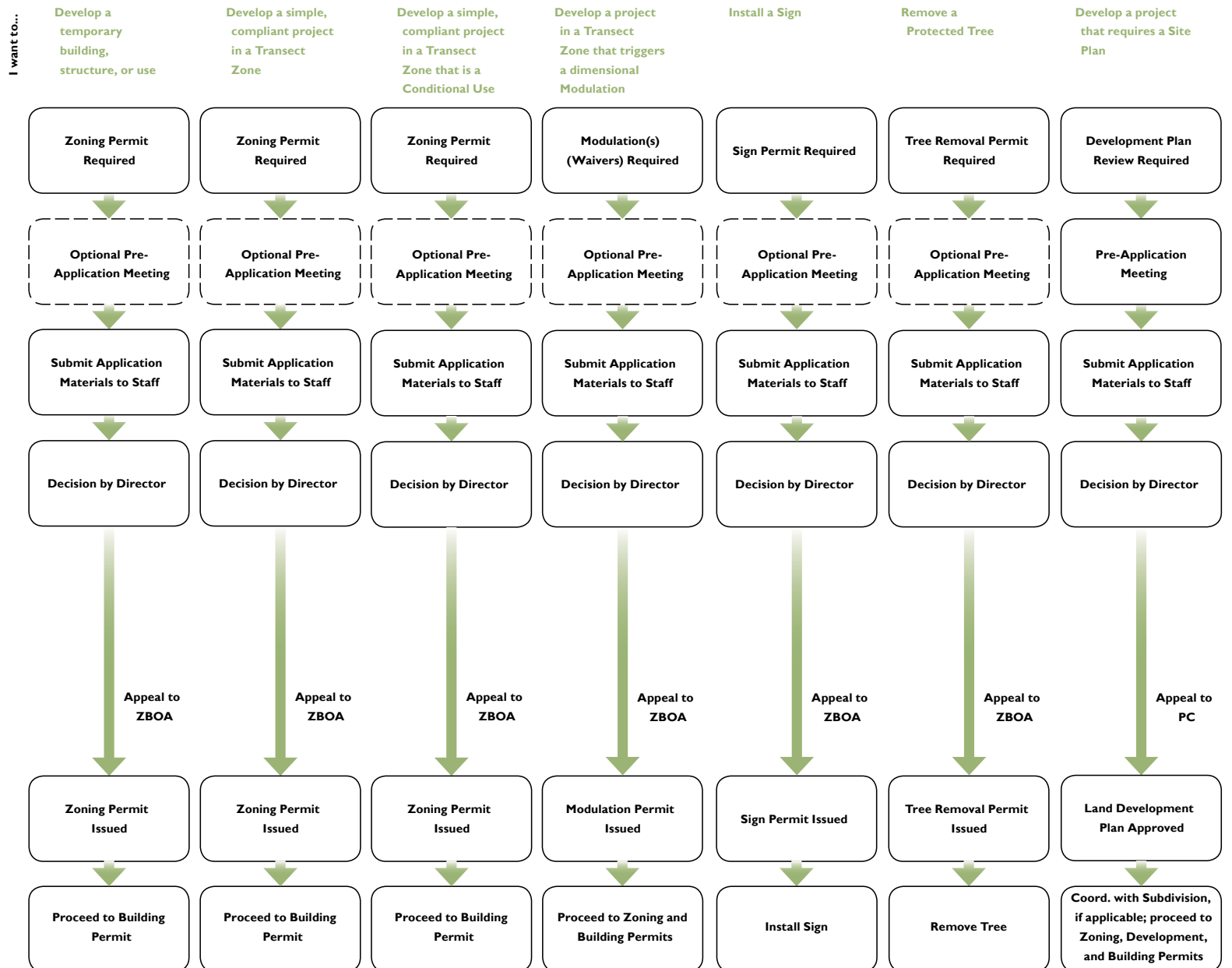
Livermore Development Code

Tested Process for Creation



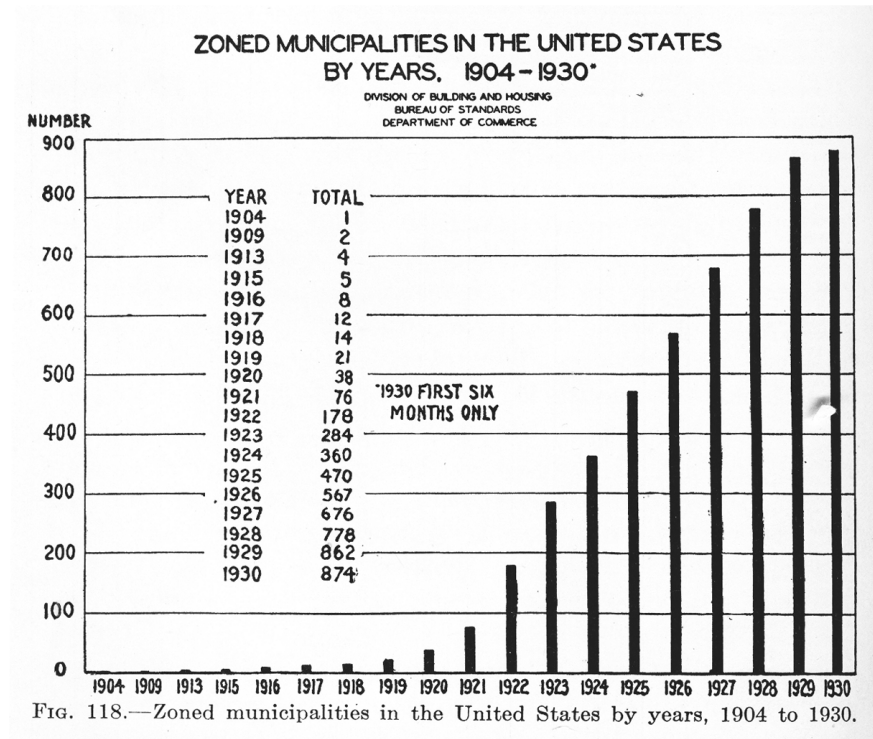
3-Step Process Diagram from “Form-Based Codes”

Tested Procedure for Administration



Form-Based Code Applications

1. Complete Development Code Updates
2. Downtown Master Plans
3. Corridor Revitalization Plans
4. Neighborhood Revitalization Plans
5. Specific Plan Development Standards
6. Regional Plan Implementation
7. General Plan Implementation
8. Historic Resource Preservation Planning
9. Transit Village Implementation
10. Greyfield Redevelopment
11. University/Community Interface Plans
12. Subdivision Ordinances

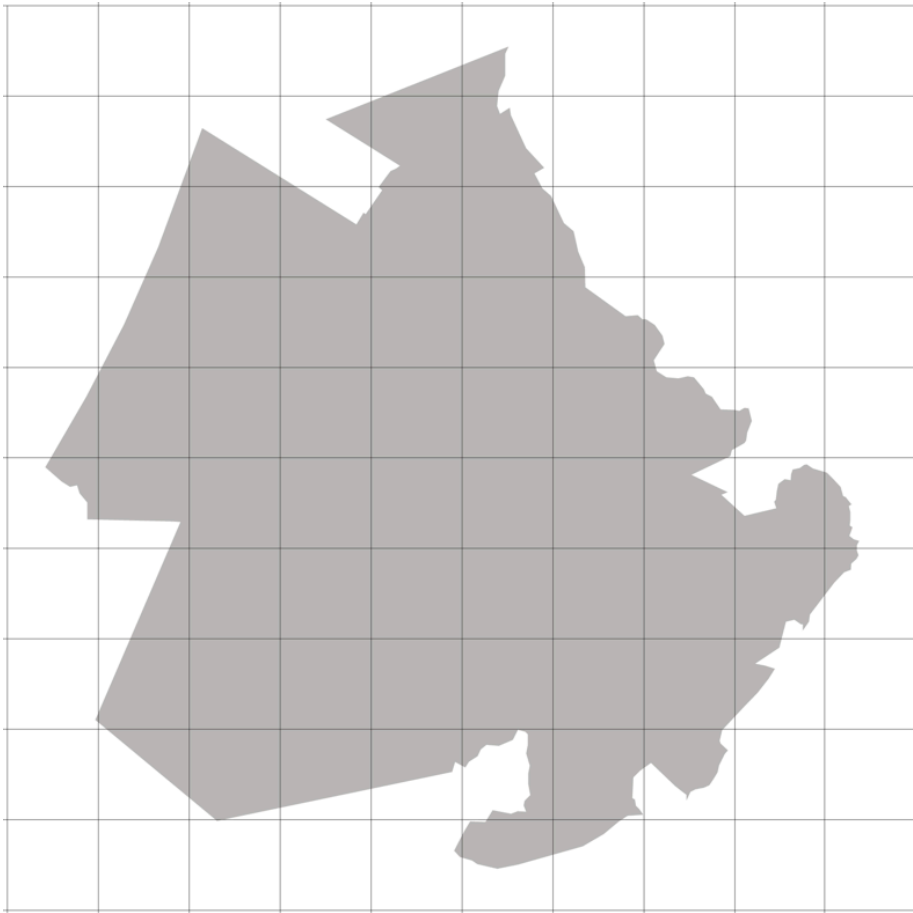


Three Big Ideas for FORA

1

Create Walkable Places

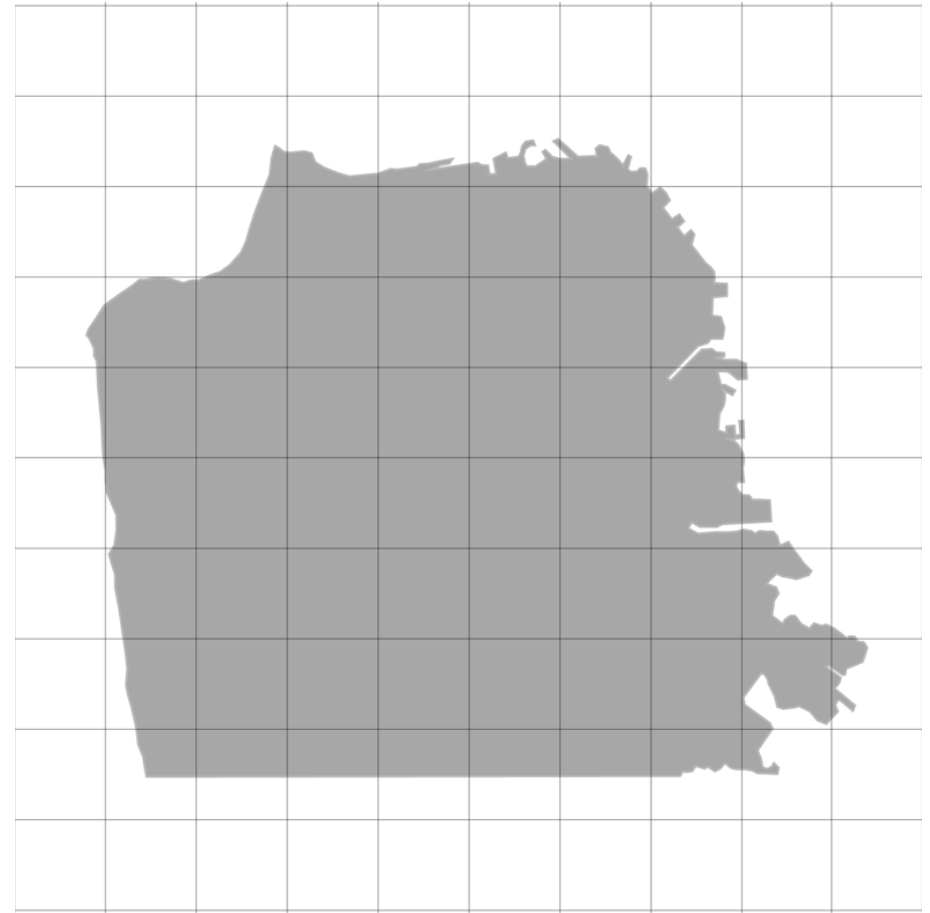
Place Types as a Framework for Zoning Implementation



Fort Ord

pop. 25,000

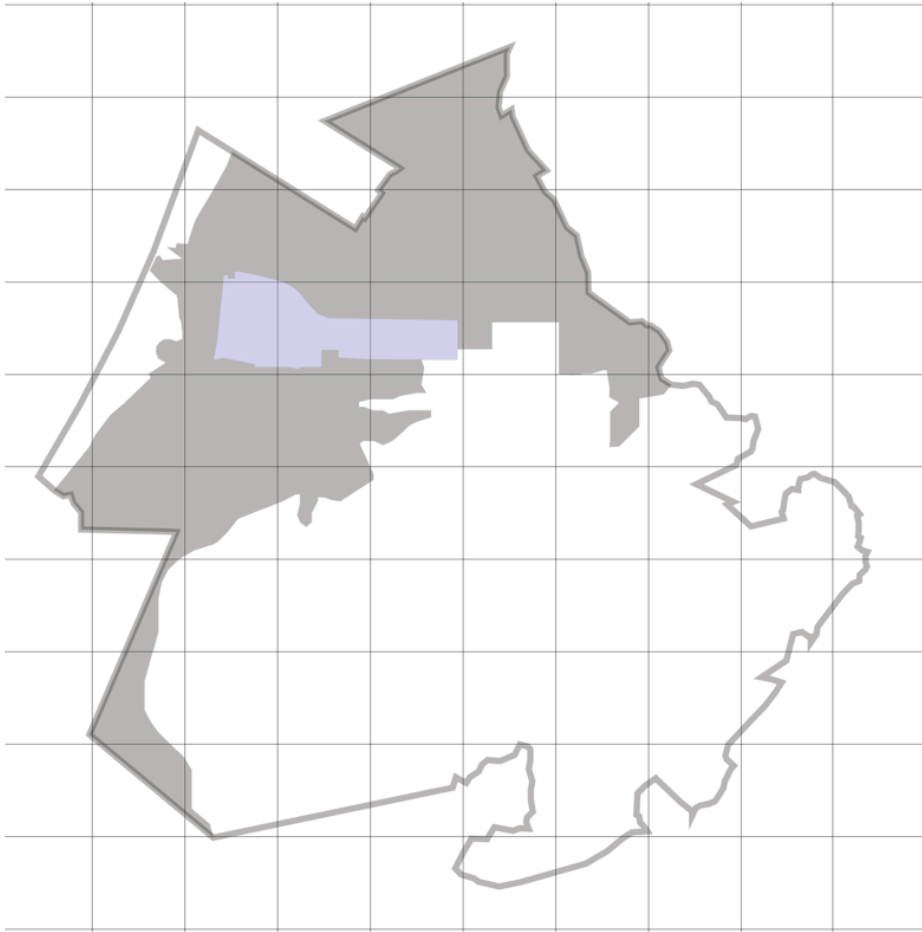
Walk Score 15



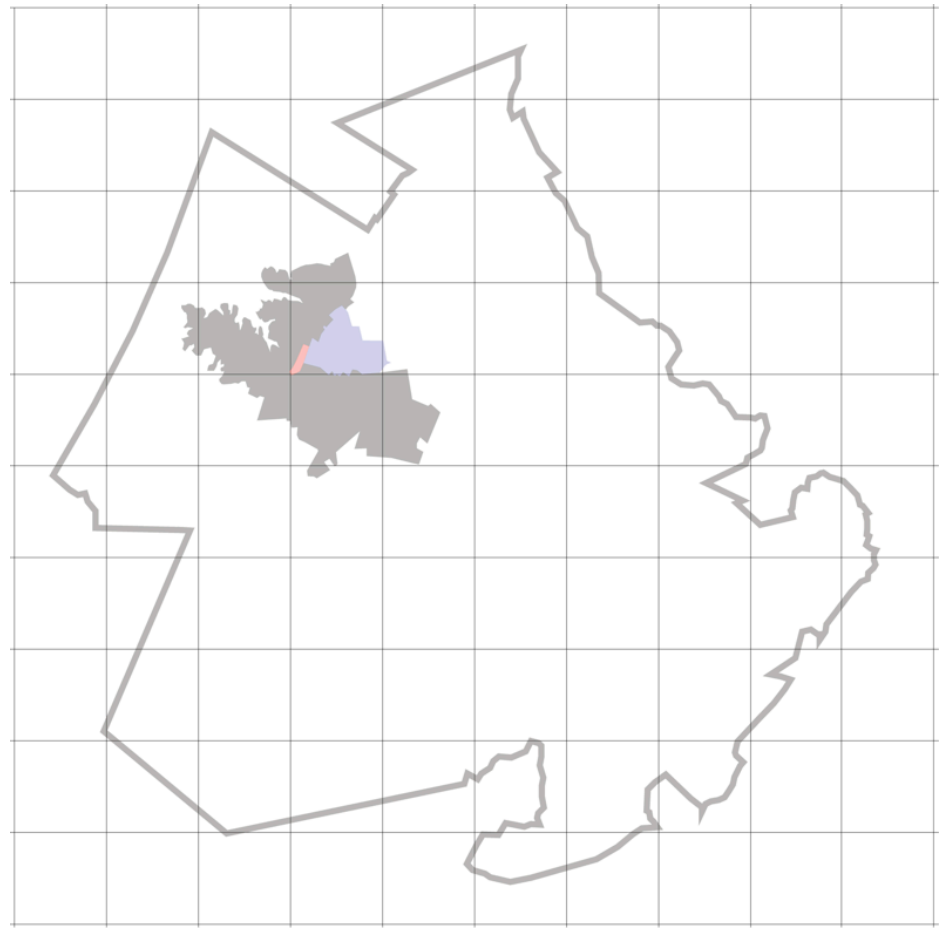
San Francisco

pop. 825,863

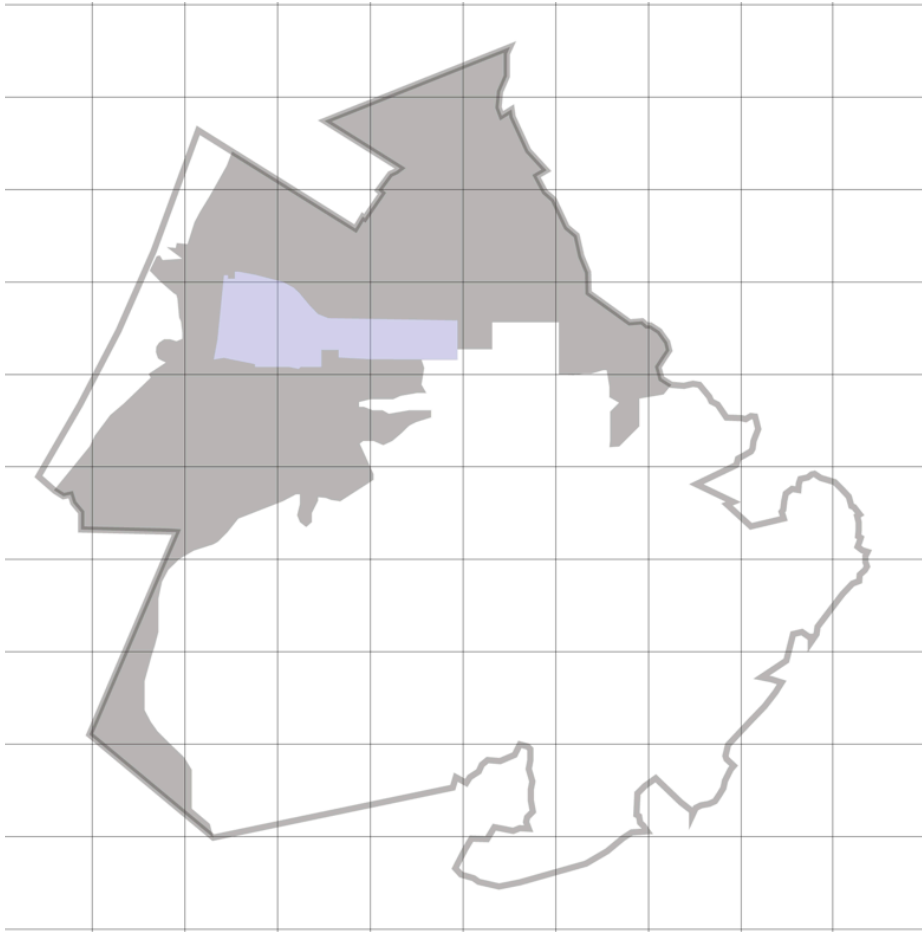
Walk Score 84



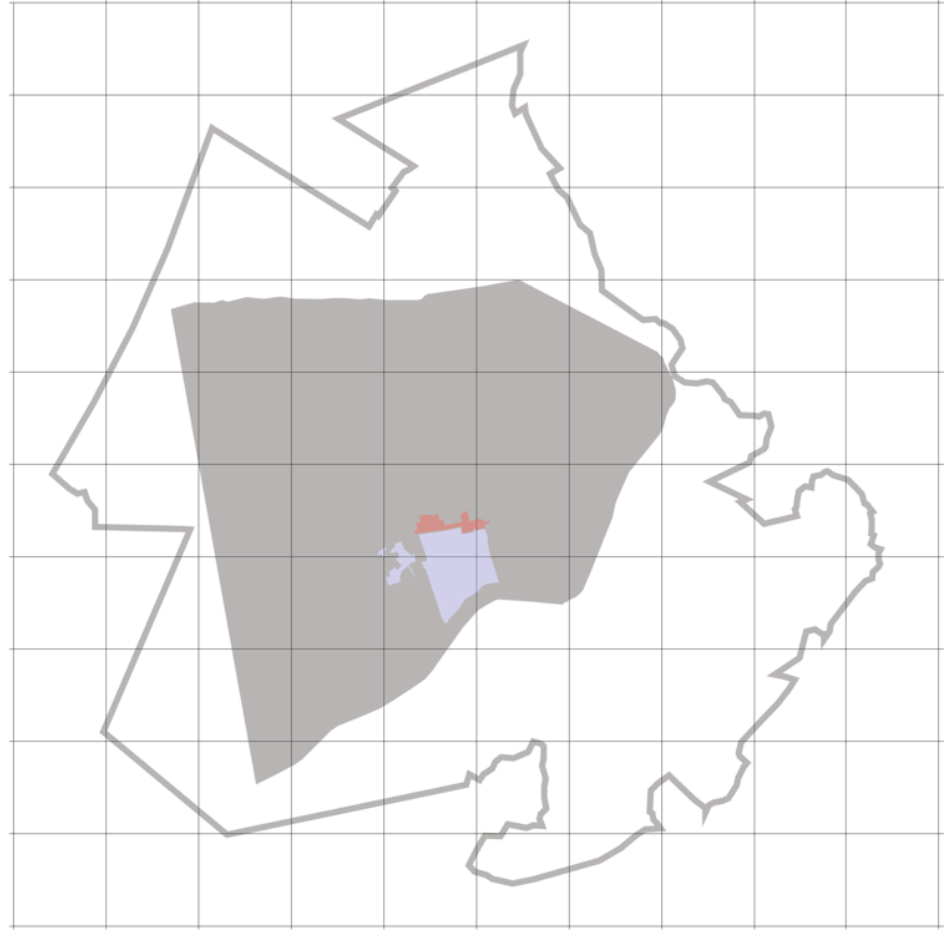
Fort Ord
pop. 25,000
Walk Score 15



Davidson, South Carolina
pop. 8,000
Walk Score 83



Fort Ord
pop. 25,000
Walk Score 15



Princeton, New Jersey
pop. 28,000
Walk Score 72

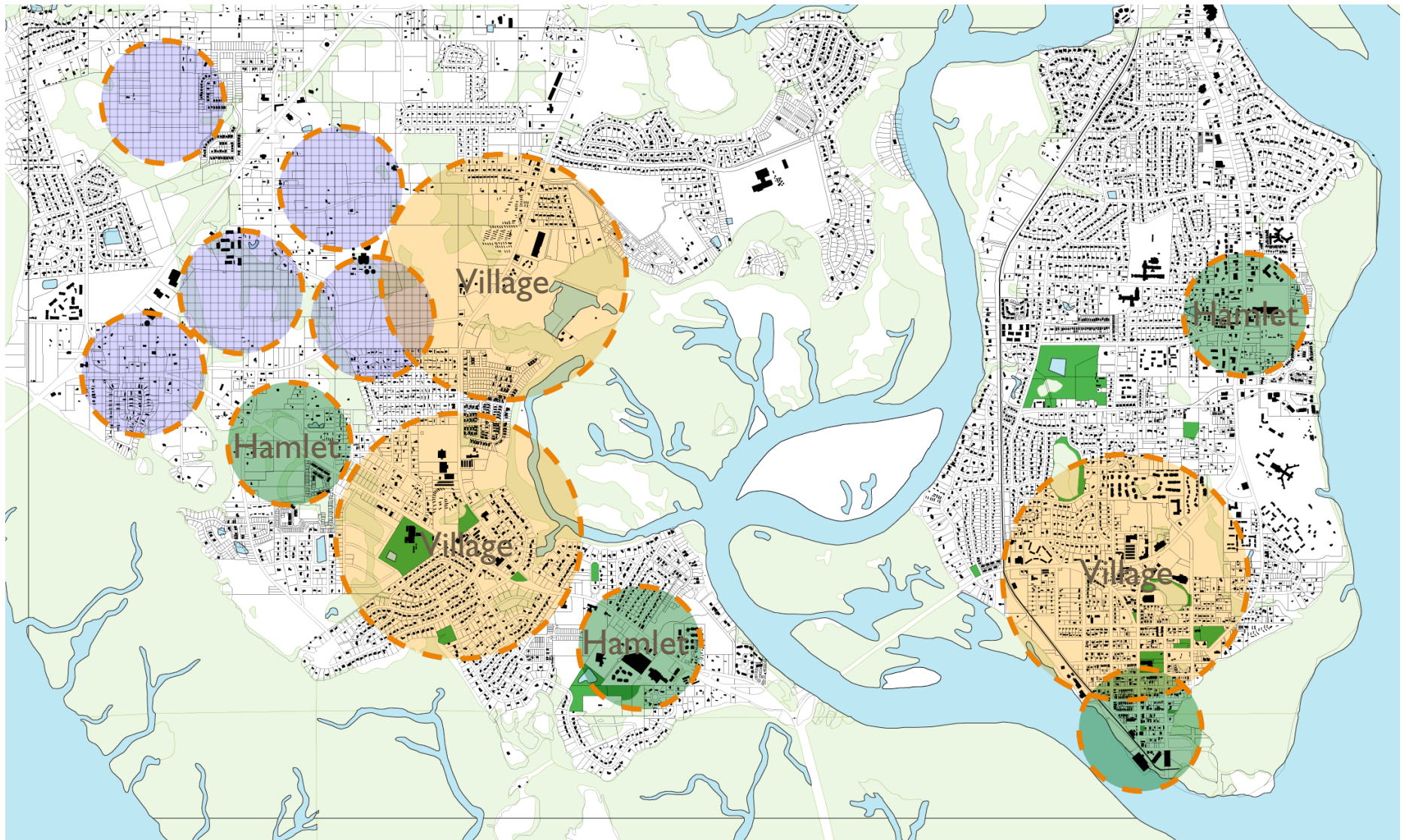
Place Types Framework





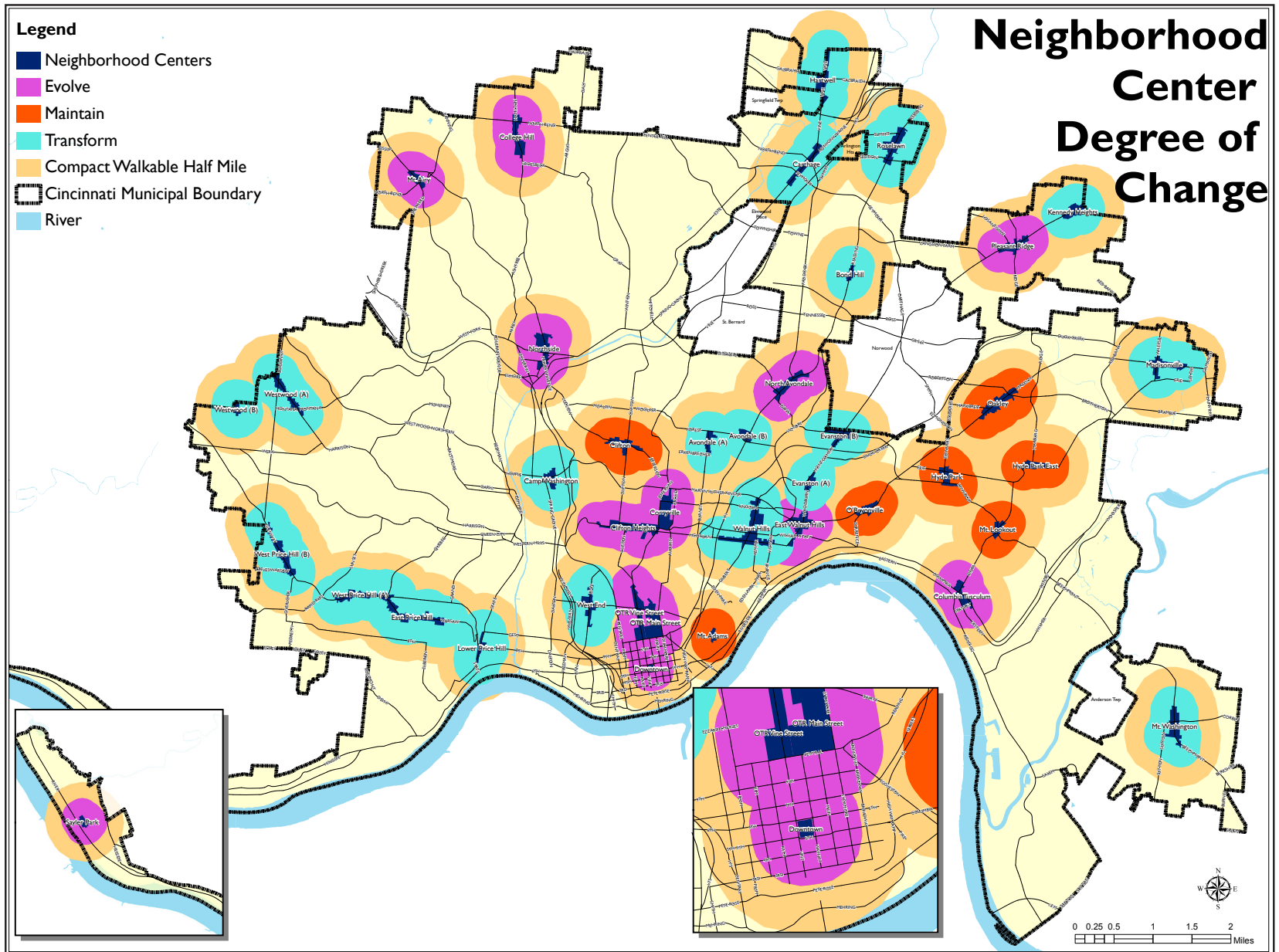
	Rural Crossroads	Hamlet	Village	Town	City
Illustration					
Description	Located at the intersection of two or more rural roads, Rural Crossroads provide a small amount of locally serving retail in a rural context. Rural Crossroads transition quickly into agricultural uses and/or into the natural environment.	Located in less urbanized areas, Hamlets exist at the edge of the rural and urban condition. A Hamlet has a small main street with surrounding residential. The main street and surrounding residential transitions quickly into agricultural uses and/or into the natural environment.	Located in urbanized areas, Villages are made up of clusters of neighborhoods that support a larger mixed-use environment. The mixed-use environment can be located at the intersection of multiple neighborhoods or along a corridor between multiple neighborhoods.	Located in urbanized areas, Towns are made up of clusters of neighborhoods or villages that support a larger more complex mixed-use environment. Buildings within the Town are attached and may be up to four stories tall. Towns are important centers of the county.	Located in urbanized areas, Cities are made up of clusters of neighborhoods or villages that support a larger more complex mixed-use environment. Buildings within the City are attached and may be taller than four stories tall. Cities are the regional centers of the County.
Activity Mix	Retail, Service, Residential, Light Industrial, Agricultural, Community /Civic Use	Retail, Service, Residential, Light Industrial, Agricultural, Community /Civic Use	Retail, Service, Residential, Community /Civic Use	Retail, Service, Residential, Community /Civic Use	Retail, Service, Residential, Community /Civic Use
Mix of Uses	Horizontal mixed use	Horizontal Mixed Use	Horizontal and vertical mixed use	Vertical mixed use	Vertical mixed use
Character of Buildings	Detached Residential, Agricultural Buildings, Other Detached Buildings	Detached Residential, Agricultural Buildings, Other Detached Buildings	Mostly Attached Buildings	Mostly Attached Buildings	Mostly Attached Buildings
Proposed Scale					
Area Type	Node	Less than a ¼ mile pedestrian shed	½ mile pedestrian shed	½ mile pedestrian shed	½ mile pedestrian shed
Area Size	0.5-5 acres	6-80 acres	160+ acres	200+ acres	200+ acres
Height	1-2 stories	1-3 stories	1-3 stories	1-4 stories	2-4+ stories
Connectivity					
Transit	No regular transit service	No regular transit service	Transit service	Main multi-modal transit hub	Main multi-modal transit hub
Block Structure	Linear large blocks	Medium to large block structure	Block network with a 2000-foot maximum perimeter length and a 600-foot maximum block face length	Block network with a 1600-foot maximum perimeter length and a 450-foot maximum block face length	Block network with a 1600-foot maximum perimeter length and a 450 foot maximum block face length
Thoroughfare Network	Simple Network	Simple Network	Complex Network	Complex Network	Complex Network
Local Example	Dale, May River	Corner's Community, Land's End	Boundary Street and Supporting Neighborhoods, Shell Point, Old Town Bluffton, Habersham with Cherokee Farms	Buckwalter Place, Town of Port Royal Core and Supporting Neighborhoods	Buckwalter Place, Town of Port Royal Core, City of Beaufort Core with Supporting Neighborhoods
Comprehensive Plan Future Land Use	Rural, Rural CP	Rural, Rural CP, NMU, G2	NMU, UMU, CC, G3A/G3B	NMU, UMU, CC, G3A/G3B	UMU, RC, Core C, G4
Corresponding Transect Zones	T1 T2 T3 T4 T5 T6	T1 T2 T3 T4 T5 T6	T1 T2 T3 T4 T5 T6	T1 T2 T3 T4 T5 T6	T1 T2 T3 T4 T5 T6

Proposed Place Types



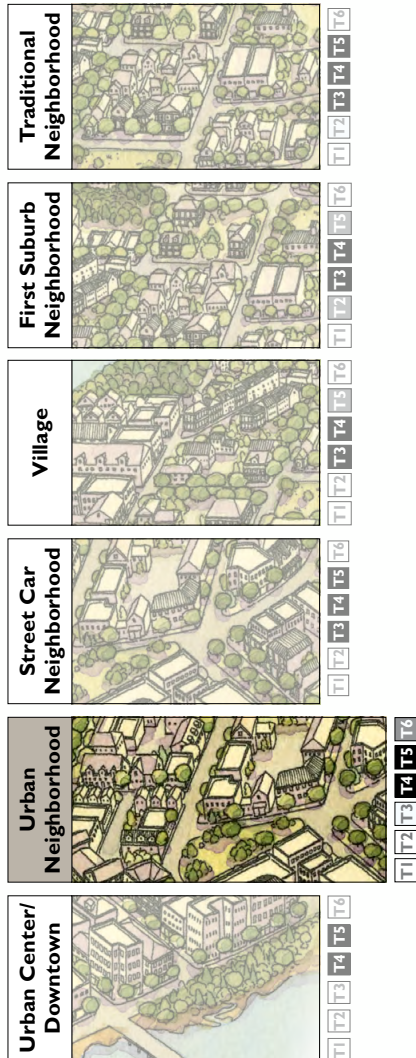
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Plan Cincinnati Growth Framework



Plan Cincinnati Growth Framework Map and Form-Based Code Priority Areas

Form Based Zones = Ingredients for Neighborhoods

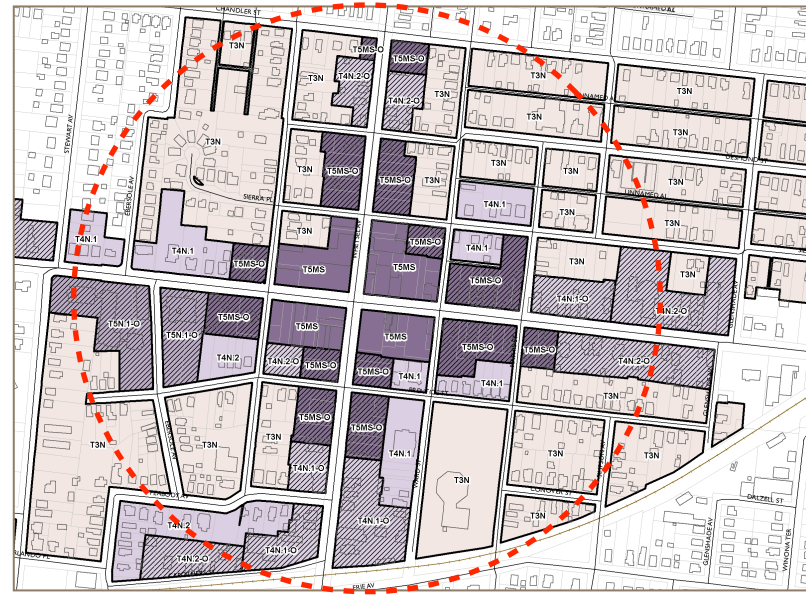
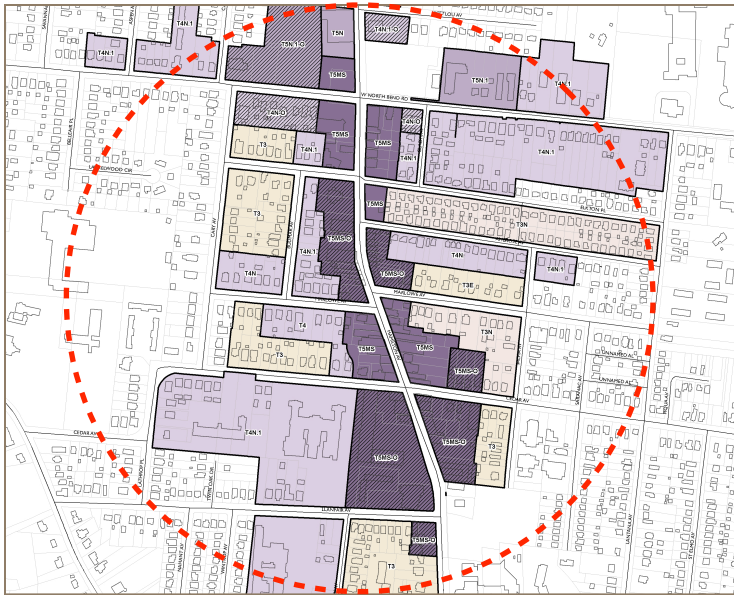


Zones Based on Form Rather Than Uses

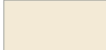


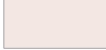











Cincinnati Form-Based Code

4 Focus Neighborhoods: 42 Total Will Have FBC



TRANSECT












-  T3
-  T3E
-  T3N
-  T4
-  T4N
-  T4N-O
-  T4N.1
-  T4N.1-O
-  T5N
-  T5N.1
-  T5N.1-O
-  T5MS
-  T5MS-O

2

The Transect as Platform







Multi-jurisdictional Applications

The Beaufort County Transect

T1  T1 NP T1 Natural Preserve Intent <p>To preserve areas that contain sensitive habitats, open space, and limited agricultural uses. This Zone typically does not contain buildings, however small civic buildings or interpretive centers may be located within this Zone.</p> <p>The T1 Natural Zone implements the resource protection standards of the existing code.</p>	T2  T2R T2 Rural Intent <p>To preserve the rural character of Beaufort County. This Zone applies to areas that consist of sparsely settled lands in open or cultivated state. It may include large lot residential, farm where animals are raised or crops are grown, parks, woodland, grasslands, trails, and open space areas.</p> <p>T2 Rural Zone implements the comprehensive plan goals of preserving the rural character of portions of Beaufort County.</p>	T2RL  T2 Rural-Low Intent <p>To preserve the rural character of Beaufort County. This Zone applies to areas that consist of sparsely settled lands in open or cultivated state, appropriate for very low density activities. It may include large lot residential, farm where animals are raised or crops are grown, parks, woodland, grasslands, trails, and open space areas.</p> <p>T2 Rural-Low Zone implements the comprehensive plan goals of preserving the rural character of portions of Beaufort County.</p>	T2RC/T2CB  T2 Rural Center Intent <p>To preserve the rural character of Beaufort County. This Zone applies to areas that are in the immediate vicinity of a Rural Crossroads or other important rural intersections, where service and limited commercial uses can cluster in more closely-spaced buildings of residential character.</p> <p>T2 Rural Center Zone implements the comprehensive plan goals of preserving the rural character of portions of Beaufort County.</p>	T3  T3 E/T3VE T3 Edge Intent <p>To reinforce established neighborhoods, to maintain neighborhood stability and provide a transition between the walkable neighborhood and rural areas.</p> <p>T3 Edge Zone implements the comprehensive plan goals of preserving the rural residential character of portions of Beaufort County, the City of Beaufort and Town of Port Royal.</p>	T3HN/T3V  T3 Hamlet Neighborhood Intent <p>To reinforce established neighborhoods, to maintain neighborhood stability and provide a transition between the walkable neighborhood and rural areas.</p> <p>T3 Hamlet Neighborhood Zone implements the comprehensive plan goals of preserving the rural residential character of portions of Beaufort County, the City of Beaufort and Town of Port Royal.</p>	T3N/T3VLE  T3 Neighborhood Intent <p>To provide a walkable, predominantly single-family home scaled neighborhood that integrates compatible multifamily housing types such as duplexes and bungalow courts within walking distance to transit and commercial areas.</p> <p>T3 Neighborhood Zone implements the comprehensive plan goals of preserving and building upon the walkable character of portions of Beaufort County, the City of Beaufort and Town of Port Royal.</p>	T3N-LI  T3 Neighborhood - Lady's Island Intent <p>To provide a walkable, predominantly single-family home scaled professional office and personal services at the edge of major roadways and commercial areas.</p> <p>T3 Neighborhood Lady's Island Zone implements the comprehensive plan goals of preserving and building upon the walkable character of portions of Lady's Island in Beaufort County.</p>	T4  T4HC T4 Hamlet Center Intent <p>To integrate appropriate, medium-density residential building types such as duplexes, townhouses, small courtyard housing, and medium apartments with limited retail and service uses in an environment conducive to walking and bicycling.</p> <p>T4 Hamlet Center is appropriate for more rural areas, implementing the comprehensive plan goals of creating areas of medium intensity residential with limited commercial uses in portions of Beaufort County, the City of Beaufort and Town of Port Royal.</p>	T4HC-O/T4VC  T4 Hamlet Center Open Intent <p>To integrate appropriate, medium-density residential building types such as duplexes, townhouses, small courtyard housing, and medium apartments with limited retail and service uses in an environment conducive to walking and bicycling.</p> <p>T4 Hamlet Center Open is appropriate for more rural areas, creating areas of medium intensity residential with commercial uses in portions of Beaufort County, the City of Beaufort and Town of Port Royal.</p>	T4NC  T4 Neighborhood Center Intent <p>To integrate vibrant main-street commercial and retail environments into neighborhoods, providing access to day-to-day amenities within walking distance, creating potential for a transit stop, and serving as a focal point for the neighborhood.</p> <p>T4 Neighborhood Center Zone implements the comprehensive plan goals of creating areas of higher intensity residential and commercial uses in the City of Beaufort and Town of Port Royal.</p>	T5  T5HC T5 Historic Core Intent <p>To support a vibrant, mixed-use environment that encourages compatible evolution and infill within the historic commercial core of the City of Beaufort.</p>	 T5MS/UC T5 Main Street Intent <p>To integrate medium intensity, vertically mixed use development in districts that support a high degree of pedestrian activity.</p> <p>T5 Main Street Zone implements the comprehensive plan goals of creating areas of higher intensity commercial with supporting residential uses in portions of the City of Beaufort and Town of Port Royal.</p>
Desired Form <p>Natural environments, with distantly spaced, detached, low rise form, setback from the street.</p>	Desired Form <p>Distantly spaced, detached, low rise form, setback from the street.</p>	Desired Form <p>Distantly spaced, detached, low rise form, setback from the street.</p>	Desired Form <p>Detached, low rise form, closely setback from the street loosely define the street edge.</p>	Desired Form <p>Detached, low rise form, setback from the street.</p>	Desired Form <p>Detached, low rise form, setback from the street.</p>	Desired Form <p>Closely spaced, detached, low rise form, setback from the street.</p>	Desired Form <p>Closely spaced, detached, low rise form, setback from the street.</p>	Desired Form <p>Predominantly detached, closely spaced low rise form, setback from the street.</p>	Desired Form <p>Predominantly detached, closely spaced low rise form, setback from the street.</p>	Desired Form <p>Attached or detached low rise form, located close to or at the street edge.</p>	Desired Form <p>Attached mid rise form, located at or near the street edge.</p>	Desired Form <p>Attached mid to high rise form, located at the street edge.</p>
Building Height <p>Where allowed, 2 stories max.</p>	Building Height <p>2 stories max.</p>	Building Height <p>2 stories max.</p>	Building Height <p>2 stories max.</p>	Building Height <p>2.5 stories max.</p>	Building Height <p>2.5 stories max.</p>	Building Height <p>2.5 stories max.</p>	Building Height <p>2.5 stories max.</p>	Building Height <p>2.5 stories max.</p>	Building Height <p>3 stories max.</p>	Building Height <p>3 stories max.</p>	Building Height <p>3 stories min., 4 stories max.</p>	Building Height <p>2 stories min., 4 stories max.</p>
General Use <p>Resource Conservation, with limited Residential and Open Space Uses</p>	General Use <p>Rural Residential and Agricultural, with limited Civic/Open Space and Service Uses</p>	General Use <p>Rural Residential and Agricultural, with limited Civic/Open Space and Service Uses</p>	General Use <p>Residential, limited Light Industrial, Commercial, Civic/Open Space, and Residential Uses</p>	General Use <p>Residential with some Civic/Open Space and Service Uses</p>	General Use <p>Residential with some Civic/Open Space and Service Uses</p>	General Use <p>Residential, with some Civic/Open Space, Professional Office and Personal Service Uses</p>	General Use <p>Residential, with some Civic/Open Space, Professional Office and Personal Service Uses</p>	General Use <p>Residential, with limited Retail, and some Civic/Open Space and Service Uses</p>	General Use <p>Residential, with Retail, and some Civic/Open Space and Service Uses</p>	General Use <p>Residential, with limited Retail, and some Civic/Open Space and Service Uses</p>	General Use <p>Mixed Uses, with Residential, Retail, Civic/Open Space, and Service Uses</p>	General Use <p>Mixed Uses, with Residential, Retail, Civic/Open Space, and Service Uses</p>
Parking Characteristics <p>Low Parking Requirements</p>	Parking <p>Moderate Parking Requirements</p>	Parking <p>Moderate Parking Requirements</p>	Parking <p>Moderate Parking Requirements</p>	Parking <p>Moderate Parking Requirements to promote walkability and minimize visual impact.</p>	Parking <p>Moderate Parking Requirements to promote walkability and minimize visual impact.</p>	Parking <p>Low to moderate Parking Requirements to promote walkability and minimize visual impact.</p>	Parking <p>Low to moderate Parking Requirements to promote walkability and minimize visual impact.</p>	Parking <p>Low to moderate Parking Requirements to promote walkability and minimize visual impact.</p>	Parking <p>Low to moderate Parking Requirements to promote walkability and minimize visual impact.</p>	Parking <p>Low to moderate Parking Requirements to promote walkability. Commercial parking handled as part of a Downtown Commercial District, with off-street (on face or at rear) residential parking.</p>	Parking <p>Low to no Parking Requirements to promote walkability. Commercial parking handled as part of a Downtown Commercial District, with off-street (on face or at rear) residential parking.</p>	Parking <p>Low to no Parking Requirements to promote walkability. Commercial parking handled as part of a Downtown Commercial District, with off-street (on face or at rear) residential parking.</p>
Roadway Characteristics <p>Narrow travel lanes, with open drainage swales and broad planting strips</p>	Roadway Characteristics <p>Narrow travel lanes, with open drainage swales and broad planting strips</p>	Roadway Characteristics <p>Narrow travel lanes, with open drainage swales and broad planting strips</p>	Roadway Characteristics <p>Narrow travel lanes, with open drainage swales and broad planting strips</p>	Roadway Characteristics <p>Narrow travel lanes, with open drainage swales and broad planting strips</p>	Roadway Characteristics <p>Narrow travel lanes, with open drainage swales and broad planting strips</p>	Roadway Characteristics <p>Narrow to moderate travel lanes, with open drainage swales or valley gutters, and broad planting strips</p>	Roadway Characteristics <p>Narrow to moderate travel lanes, with open drainage swales or valley gutters, and broad planting strips</p>	Roadway Characteristics <p>Narrow to moderate travel lanes, with structured drainage and narrow planting strips</p>	Roadway Characteristics <p>Narrow to moderate travel lanes, with structured drainage and narrow planting strips</p>	Roadway Characteristics <p>Narrow to moderate travel lanes, with structured drainage and narrow planting strips or tree wells</p>	Roadway Characteristics <p>Narrow to moderate travel lanes, with structured drainage and tree wells</p>	Roadway Characteristics <p>Moderate to wider travel lanes, with structured drainage and tree wells</p>

• 13 Zones in total

Calibrated to 3 Jurisdictions

T1  <p>T1 Natural Preserve</p> <p>Intent</p> <p>To preserve areas that contain sensitive habitats, open space, and limited agricultural uses. This Zone typically does not contain buildings, however small civic buildings or interpretive centers may be located within this Zone.</p> <p>The T1 Natural Zone implements the resource protection standards of the existing code.</p> <p>Desired Form</p> <p>Natural environments, with distantly spaced, detached, low rise form, setback from the street.</p> <p>Building Height</p> <p>Where allowed, 2 stories max.</p> <p>General Use</p> <p>Resource Conservation, with limited Residential and Open Space Uses</p> <p>Parking Characteristics</p> <p>Low Parking Requirements</p> <p>Individual Parking Lots, No On-Street Parking</p> <p>Roadway Characteristics</p> <p>Narrow travel lanes, with open drainage swales and broad planting strips</p>	T2  <p>T2 Rural</p> <p>Intent</p> <p>To preserve the rural character of Beaufort County. This Zone applies to areas that consist of sparsely settled lands in open or cultivated state. It may include large lot residential, farms where animals are raised or crops are grown, parks, woodlands, grasslands, trails, and open space areas.</p> <p>T2 Rural Zone implements the comprehensive plan goals of preserving the rural character of portions of Beaufort County.</p> <p>Desired Form</p> <p>Distantly spaced, detached, low rise form, setback from the street.</p> <p>Building Height</p> <p>2 stories max.</p> <p>General Use</p> <p>Rural Residential and Agricultural, with limited Civic/Open Space and Service Uses</p> <p>Parking</p> <p>Moderate Parking Requirements</p> <p>Individual Parking Lots, No On-Street Parking</p> <p>Roadway Characteristics</p> <p>Narrow travel lanes, with open drainage swales and broad planting strips</p>	T2RL  <p>T2 Rural-Low</p> <p>Intent</p> <p>To preserve the rural character of Beaufort County. This Zone applies to areas that consist of sparsely settled lands in open or cultivated state, appropriate for very low density residential, farms where animals are raised or crops are grown, parks, woodlands, grasslands, trails, and open space areas.</p> <p>T2 Rural-Low Zone implements the comprehensive plan goals of preserving the rural character of portions of Beaufort County.</p> <p>Desired Form</p> <p>Distantly spaced, detached, low rise form, setback from the street.</p> <p>Building Height</p> <p>2 stories max.</p> <p>General Use</p> <p>Rural Residential and Agricultural, with limited Civic/Open Space and Service Uses</p> <p>Parking</p> <p>Moderate Parking Requirements</p> <p>Individual Parking Lots, No On-Street Parking</p> <p>Roadway Characteristics</p> <p>Narrow travel lanes, with open drainage swales and broad planting strips</p>	T2RC/T2CS  <p>T2 Rural Center</p> <p>Intent</p> <p>To reinforce established neighborhoods, to maintain neighborhood stability and provide a transition between the walkable neighborhood and the Natural Preserves and rural areas.</p> <p>T2 Rural Center Zone implements the comprehensive plan goals of preserving the rural character of portions of Beaufort County.</p> <p>Desired Form</p> <p>Detached, low rise form, closely setback from the street loosely define the street edge.</p> <p>Building Height</p> <p>2.5 stories max.</p> <p>General Use</p> <p>Service, limited Light Industrial, Commercial, Civic/Open Space, and Residential Uses</p> <p>Parking</p> <p>Moderate Parking Requirements to promote walkability and minimize visual impact.</p> <p>Individual Parking Lots, No On-Street Parking</p> <p>Roadway Characteristics</p> <p>Narrow travel lanes, with open drainage swales and broad planting strips</p>	T3  <p>T3 Edge</p> <p>Intent</p> <p>To reinforce established neighborhoods, to maintain neighborhood stability and provide a transition between the walkable neighborhood and the Natural Preserves and rural areas.</p> <p>T3 Edge Zone implements the comprehensive plan goals of preserving the rural residential character of portions of Beaufort County, the City of Beaufort and Town of Port Royal.</p> <p>Desired Form</p> <p>Detached, low rise form, setback from the street.</p> <p>Building Height</p> <p>2.5 stories max.</p> <p>General Use</p> <p>Residential with some Civic/Open Space and Service Uses</p> <p>Parking</p> <p>Moderate Parking Requirements to promote walkability and minimize visual impact.</p> <p>Individual Parking Lots, Limited On-Street Parking</p> <p>Roadway Characteristics</p> <p>Narrow travel lanes, with open drainage swales and broad planting strips</p>	T3HN/T3V  <p>T3 Hamlet Neighborhood</p> <p>Intent</p> <p>To reinforce established neighborhoods, to maintain neighborhood stability and provide a transition between the walkable neighborhood and the Natural Preserves and rural areas.</p> <p>T3 Hamlet Neighborhood Zone implements the comprehensive plan goals of preserving the rural residential character of portions of Beaufort County, the City of Beaufort and Town of Port Royal.</p> <p>Desired Form</p> <p>Detached, low rise form, setback from the street.</p> <p>Building Height</p> <p>2.5 stories max.</p> <p>General Use</p> <p>Residential with some Civic/Open Space and Service Uses</p> <p>Parking</p> <p>Low to moderate Parking Requirements to promote walkability and minimize visual impact.</p> <p>Individual Parking Lots, Some On-Street Parking</p> <p>Roadway Characteristics</p> <p>Narrow travel lanes, with open drainage swales and broad planting strips</p>	T3N/T3V-LE  <p>T3 Neighborhood</p> <p>Intent</p> <p>To provide a walkable, predominantly single-family neighborhood that integrates compatible multifamily housing types such as duplexes, and townhouses with limited retail and service uses in an environment conducive to walking and bicycling.</p> <p>T3 Neighborhood Zone implements the comprehensive plan goals of preserving and building upon the walkable character of portions of Beaufort County, the City of Beaufort and Town of Port Royal.</p> <p>Desired Form</p> <p>Closely spaced, detached, low rise form, setback from the street.</p> <p>Building Height</p> <p>2.5 stories max.</p> <p>General Use</p> <p>Residential, with some Civic/Open Space, and Service Uses</p> <p>Parking</p> <p>Low to moderate Parking Requirements to promote walkability and minimize visual impact. On-street parking should be counted toward required nonresidential parking in selected areas.</p> <p>Shared or Individual Parking Lots, On-Street Parking</p> <p>Roadway Characteristics</p> <p>Narrow to moderate travel lanes, with open drainage swales or valley gutters, and broad planting strips</p>	T3N-LI  <p>T3 Neighborhood - Lady's Island</p> <p>Intent</p> <p>To provide a walkable, predominantly single-family house scaled professional office and personal services at the edge of major roadways and commercial areas.</p> <p>T3 Neighborhood Lady's Island Zone implements the comprehensive plan goals of preserving and building upon the walkable character of portions of Lady's Island in Beaufort County.</p> <p>Desired Form</p> <p>Closely spaced, detached, low rise form, setback from the street.</p> <p>Building Height</p> <p>2.5 stories max.</p> <p>General Use</p> <p>Residential, with some Civic/Open Space, Professional Office and Personal Service Uses</p> <p>Parking</p> <p>Low to moderate Parking Requirements to promote walkability and minimize visual impact.</p> <p>Individual Parking Lots, On-Street Parking</p> <p>Roadway Characteristics</p> <p>Narrow to moderate travel lanes, with open drainage swales or valley gutters, and broad planting strips</p>	T4  <p>T4 Hamlet Center</p> <p>Intent</p> <p>To integrate appropriate, medium-density residential building types such as duplexes, townhouses, small courtyard housing, and medium apartments with limited retail and service uses in an environment conducive to walking and bicycling.</p> <p>T4 Hamlet Center is appropriate for more rural areas, implementing the comprehensive plan goals of creating areas of medium intensity residential with limited commercial uses in portions of Beaufort County, the City of Beaufort and Town of Port Royal.</p> <p>Desired Form</p> <p>Predominantly detached, closely spaced low rise form, setback from the street.</p> <p>Building Height</p> <p>3 stories max.</p> <p>General Use</p> <p>Residential, with limited Retail, and some Civic/Open Space and Service Uses</p> <p>Parking</p> <p>Low to moderate Parking Requirements to promote walkability and minimize visual impact. On-street parking should be counted toward required nonresidential parking in selected areas.</p> <p>Shared or Individual Parking Lots, On-Street Parking</p> <p>Roadway Characteristics</p> <p>Narrow to moderate travel lanes, with structured drainage and narrow planting strips</p>	T4HC-O/T4VC  <p>T4 Hamlet Center Open</p> <p>Intent</p> <p>To integrate appropriate, medium-density residential building types such as duplexes, townhouses, small courtyard housing, and medium apartments with limited retail and service uses in an environment conducive to walking and bicycling.</p> <p>T4 Hamlet Center Open is appropriate for more rural areas, creating areas of medium intensity residential with commercial uses in portions of Beaufort County, the City of Beaufort and Town of Port Royal.</p> <p>Desired Form</p> <p>Predominantly detached, closely spaced low rise form, setback from the street.</p> <p>Building Height</p> <p>3 stories max.</p> <p>General Use</p> <p>Residential, with Retail, and some Civic/Open Space and Service Uses</p> <p>Parking</p> <p>Low to moderate Parking Requirements to promote walkability. Commercial parking handled as part of Downtown Commercial District with off-street (surface or structured) residential parking.</p> <p>Shared or Individual Parking Lots, On-Street Parking</p> <p>Roadway Characteristics</p> <p>Narrow to moderate travel lanes, with structured drainage and narrow planting strips or tree wells</p>	T4NC  <p>T4 Neighborhood Center</p> <p>Intent</p> <p>To integrate vibrant main-street commercial and retail environments into neighborhoods, providing access to day-to-day amenities within walking distance, creating potential for a transit stop, and serving as a focal point for the neighborhood.</p> <p>T4 Neighborhood Center Zone implements the comprehensive plan goals of creating areas of higher intensity residential and commercial uses in the City of Beaufort and Town of Port Royal.</p> <p>Desired Form</p> <p>Attached or detached low rise form, located close to or at the street edge.</p> <p>Building Height</p> <p>3 stories max.</p> <p>General Use</p> <p>Residential, with limited Retail, and some Civic/Open Space and Service Uses</p> <p>Parking</p> <p>Low to moderate Parking Requirements to promote walkability. Commercial parking handled as part of Downtown Commercial District with off-street (surface or structured) residential parking.</p> <p>Shared or Individual Parking Lots, On-Street Parking</p> <p>Roadway Characteristics</p> <p>Narrow to moderate travel lanes, with structured drainage and narrow planting strips or tree wells</p>	T5  <p>T5 Historic Core</p> <p>Intent</p> <p>To support a vibrant, mixed-use environment that encourages compatible evolution and infill within the historic commercial core of the City of Beaufort.</p> <p>T5 Historic Core Zone implements the comprehensive plan goals of creating areas of higher intensity commercial with supporting residential uses in portions of the City of Beaufort and Town of Port Royal.</p> <p>Desired Form</p> <p>Attached mid rise form, located at or near the street edge.</p> <p>Building Height</p> <p>3 stories max.</p> <p>General Use</p> <p>Mixed Uses, with Residential, Retail, Civic/Open Space, and Service Uses</p> <p>Parking</p> <p>Low to no Parking Requirements to promote walkability. Commercial parking handled as part of Downtown Commercial District, with off-street (surface or structured) residential parking.</p> <p>Shared Parking Lots, District Wide Parking Program, On-Street Parking</p> <p>Roadway Characteristics</p> <p>Moderate to moderate travel lanes, with structured drainage and tree wells</p>	T5MS/UC  <p>T5 Main Street</p> <p>Intent</p> <p>To integrate medium intensity, vertically mixed use development in districts that support a high degree of pedestrian activity.</p> <p>T5 Main Street Zone implements the comprehensive plan goals of creating areas of higher intensity commercial with supporting residential uses in portions of the City of Beaufort and Town of Port Royal.</p> <p>Desired Form</p> <p>Attached mid to high rise form, located at the street edge.</p> <p>Building Height</p> <p>2 stories min., 4 stories max.</p> <p>General Use</p> <p>Mixed Uses, with Residential, Retail, Civic/Open Space, and Service Uses</p> <p>Parking</p> <p>Low to no Parking Requirements to promote walkability. Commercial parking handled as part of Downtown Commercial District, with off-street (surface or structured) residential parking.</p> <p>Shared Parking Lots, District Wide Parking Program, On-Street Parking</p> <p>Roadway Characteristics</p> <p>Moderate to moderate travel lanes, with structured drainage and tree wells</p>
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Beaufort County Development Code

Public Review Draft
February 2012

Prepared For
Beaufort County,
South Carolina
Prepared By:



City of Beaufort Development Code

Public Review Draft
February 2012

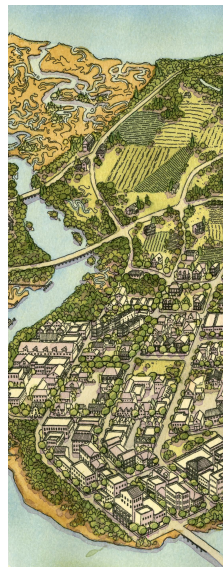
Prepared For
City of Beaufort,
South Carolina
Prepared By:



Town of Port Royal Development Code

Final Administrative Draft
August 2011

Prepared For The
Town of Port Royal,
South Carolina
Prepared By:



Calibrated to 3 Jurisdictions

T1  <p>T1 Natural Preserve Intent To preserve areas that contain sensitive habitats, open space, and limited agricultural uses. This Zone typically does not contain buildings, however small civic buildings or interpretive centers may be located within this Zone. he T1 Natural Zone implements the resource protection standards of the listing code.</p> <p>Desired Form Natural environments, with distantly spaced, detached, low rise form, setback from the street.</p> <p>Building Height Where allowed, 2 stories max.</p> <p>General Use Resource Conservation, with limited residential and Open Space Uses</p> <p>Parking Characteristics Low Parking Requirements Individual Parking Lots, No On-Street Parking</p> <p>Roadway Characteristics Narrow travel lanes, with open drainage swales and broad shoulders.</p>	T2  <p>T2 Rural Intent To preserve the rural character of Beaufort County. This Zone applies to areas that consist of sparsely settled lands in open or cultivated state. It may include large lot residential, farms where animals are raised or crops are grown, parks, woodlands, grasslands, trails, and open space areas. T2 Rural Zone implements the comprehensive plan goals of preserving the rural character of portions of Beaufort County.</p> <p>Desired Form Distantly spaced, detached, low rise form, setback from the street.</p> <p>Building Height 2 stories max.</p> <p>General Use Rural Residential and Agricultural, with limited Civic/Open Space and Service Uses</p> <p>Parking Moderate Parking Requirements Individual Parking Lots, No On-Street Parking</p> <p>Roadway Characteristics Narrow travel lanes, with open drainage swales and broad shoulders.</p>	T2RL  <p>T2 Rural-Low Intent To preserve the rural character of Beaufort County. This Zone applies to areas that consist of sparsely settled lands in open or cultivated state, appropriate for very low density residential, farms where animals are raised or crops are grown, parks, woodlands, grasslands, trails, and open space areas. T2 Rural-Low Zone implements the comprehensive plan goals of preserving the rural character of portions of Beaufort County.</p> <p>Desired Form Distantly spaced, detached, low rise form, setback from the street.</p> <p>Building Height 2 stories max.</p> <p>General Use Rural Residential and Agricultural, with limited Civic/Open Space and Service Uses</p> <p>Parking Moderate Parking Requirements Individual Parking Lots, No On-Street Parking</p> <p>Roadway Characteristics Narrow travel lanes, with open drainage swales and broad shoulders.</p>	T2RC/T2CS  <p>T2 Rural Center Intent To reinforce established neighborhoods, to maintain neighborhood stability and provide a transition between the walkable neighborhood and the Natural Preserves and rural areas. T2 Rural Center Zone implements the comprehensive plan goals of preserving the rural character of portions of Beaufort County.</p> <p>Desired Form Detached, low rise form, closely setback from the street loosely define the street edge.</p> <p>Building Height 2.5 stories max.</p> <p>General Use Service, limited Light Industrial, Commercial, Civic/Open Space, and Residential Uses</p> <p>Parking Moderate Parking Requirements to promote walkability and minimize visual impact. Individual Parking Lots, No On-Street Parking</p> <p>Roadway Characteristics Narrow travel lanes, with open drainage swales and broad shoulders.</p>	T3  <p>T3 Edge Intent To reinforce established neighborhoods, to maintain neighborhood stability and provide a transition between the walkable neighborhood and the Natural Preserves and rural areas. T3 Edge Zone implements the comprehensive plan goals of preserving the rural residential character of portions of Beaufort County, the City of Beaufort and Town of Port Royal.</p> <p>Desired Form Detached, low rise form, setback from the street.</p> <p>Building Height 2.5 stories max.</p> <p>General Use Residential with some Civic/Open Space and Service Uses</p> <p>Parking Moderate Parking Requirements to promote walkability and minimize visual impact. Individual Parking Lots, Limited On-Street Parking</p> <p>Roadway Characteristics Narrow travel lanes, with open drainage swales and broad shoulders.</p>	T3HN/T3V  <p>T3 Hamlet Neighborhood Intent To reinforce established neighborhoods, to maintain neighborhood stability and provide a transition between the walkable neighborhood and the Natural Preserves and rural areas. T3 Hamlet Neighborhood Zone implements the comprehensive plan goals of preserving the rural residential character of portions of Beaufort County, the City of Beaufort and Town of Port Royal.</p> <p>Desired Form Detached, low rise form, setback from the street.</p> <p>Building Height 2.5 stories max.</p> <p>General Use Residential with some Civic/Open Space and Service Uses</p> <p>Parking Low to moderate Parking Requirements to promote walkability and minimize visual impact. Individual Parking Lots, Some On-Street Parking</p> <p>Roadway Characteristics Narrow travel lanes, with open drainage swales and broad shoulders.</p>	T3N/T3V-LE  <p>T3 Neighborhood Intent To provide a walkable, predominantly single-family neighborhood that integrates compatible multifamily housing types such as duplexes, and townhouses with limited retail and service uses in an environment conducive to walking and bicycling. T3 Neighborhood Zone implements the comprehensive plan goals of preserving and building upon the walkable character of portions of Beaufort County, the City of Beaufort and Town of Port Royal.</p> <p>Desired Form Closely spaced, detached, low rise form, setback from the street.</p> <p>Building Height 2.5 stories max.</p> <p>General Use Residential, with some Civic/Open Space, and Service Uses</p> <p>Parking Low to moderate Parking Requirements to promote walkability and minimize visual impact. Individual Parking Lots, On-Street Parking</p> <p>Roadway Characteristics Narrow to moderate travel lanes, with structured drainage and narrow planting strips.</p>	T3N-LI  <p>T3 Neighborhood - Lady's Island Intent To provide a walkable, predominantly single-family house scaled professional office and personal services at the edge of major roadways and commercial areas. T3 Neighborhood Lady's Island Zone implements the comprehensive plan goals of preserving and building upon the walkable character of portions of Lady's Island in Beaufort County.</p> <p>Desired Form Closely spaced, detached, low rise form, setback from the street.</p> <p>Building Height 2.5 stories max.</p> <p>General Use Residential, with some Civic/Open Space, Professional Office and Personal Service Uses</p> <p>Parking Low to moderate Parking Requirements to promote walkability and minimize visual impact. Individual Parking Lots, On-Street Parking</p> <p>Roadway Characteristics Narrow to moderate travel lanes, with structured drainage and narrow planting strips.</p>	T4  <p>T4 Hamlet Center Intent To integrate appropriate, medium-density residential building types such as duplexes, townhouses, small courtyard housing, and medium apartments with limited retail and service uses in an environment conducive to walking and bicycling. T4 Hamlet Center is appropriate for more rural areas, implementing the comprehensive plan goals of creating areas of medium intensity residential with limited commercial uses in portions of Beaufort County, the City of Beaufort and Town of Port Royal.</p> <p>Desired Form Predominantly detached, closely spaced low rise form, setback from the street.</p> <p>Building Height 3 stories max.</p> <p>General Use Residential, with limited Retail, and some Civic/Open Space and Service Uses</p> <p>Parking Low to moderate Parking Requirements to promote walkability and minimize visual impact. On-street parking should be counted toward required nonresidential parking in selected areas. Shared or Individual Parking Lots, On-Street Parking</p> <p>Roadway Characteristics Narrow to moderate travel lanes, with structured drainage and narrow planting strips.</p>	T4HC-O/T4VC  <p>T4 Hamlet Center Open Intent To integrate appropriate, medium-density residential building types such as duplexes, townhouses, small courtyard housing, and medium apartments with limited retail and service uses in an environment conducive to walking and bicycling. T4 Hamlet Center Open is appropriate for more rural areas, implementing the comprehensive plan goals of creating areas of medium intensity residential with commercial uses in portions of Beaufort County, the City of Beaufort and Town of Port Royal.</p> <p>Desired Form Predominantly detached, closely spaced low rise form, setback from the street.</p> <p>Building Height 3 stories max.</p> <p>General Use Residential, with Retail, and some Civic/Open Space and Service Uses</p> <p>Parking Low to moderate Parking Requirements to promote walkability and minimize visual impact. On-street parking should be counted toward required nonresidential parking in selected areas. Shared or Individual Parking Lots, On-Street Parking</p> <p>Roadway Characteristics Narrow to moderate travel lanes, with structured drainage and narrow planting strips.</p>	T4NC  <p>T4 Neighborhood Center Intent To integrate vibrant main-street commercial and retail environments into neighborhoods, providing access to day-to-day amenities within walking distance, creating potential for a transit stop, and serving as a focal point for the neighborhood. T4 Neighborhood Center Zone implements the comprehensive plan goals of creating areas of higher intensity residential and commercial uses in the City of Beaufort and Town of Port Royal.</p> <p>Desired Form Attached or detached low rise form, located close to or at the street edge.</p> <p>Building Height 3 stories max.</p> <p>General Use Residential, with limited Retail, and some Civic/Open Space and Service Uses</p> <p>Parking Low to moderate Parking Requirements to promote walkability. Commercial parking handled as part of Downtown Commercial District with off-street (often structured) residential parking. Shared Parking Lots, District Wide Parking Program, On-Street Parking</p> <p>Roadway Characteristics Narrow to moderate travel lanes, with structured drainage and tree wells.</p>	T5  <p>T5 Historic Core Intent To support a vibrant, mixed-use environment that encourages compatible evolution and infill within the historic commercial core of the City of Beaufort. T5 Historic Core Zone implements the comprehensive plan goals of creating areas of higher intensity commercial with supporting residential uses in portions of the City of Beaufort and Town of Port Royal.</p> <p>Desired Form Attached mid rise form, located at or near the street edge.</p> <p>Building Height 3 stories max.</p> <p>General Use Mixed Uses, with Residential, Retail, Civic/Open Space, and Service Uses</p> <p>Parking Low to no Parking Requirements to promote walkability. Commercial parking handled as part of Downtown Commercial District, with off-street (often structured) residential parking. Shared Parking Lots, District Wide Parking Program, On-Street Parking</p> <p>Roadway Characteristics Moderate to moderate travel lanes, with structured drainage and tree wells.</p>	T5MS/UC  <p>T5 Main Street Intent To integrate medium intensity, vertically mixed use development in districts that support a high degree of pedestrian activity. T5 Main Street Zone implements the comprehensive plan goals of creating areas of higher intensity commercial with supporting residential uses in portions of the City of Beaufort and Town of Port Royal.</p> <p>Desired Form Attached mid to high rise form, located at the street edge.</p> <p>Building Height 2 stories min., 4 stories max.</p> <p>General Use Mixed Uses, with Residential, Retail, Civic/Open Space, and Service Uses</p> <p>Parking Low to no Parking Requirements to promote walkability. Commercial parking handled as part of Downtown Commercial District, with off-street (often structured) residential parking. Shared Parking Lots, District Wide Parking Program, On-Street Parking</p> <p>Roadway Characteristics Moderate to wider travel lanes, with structured drainage and tree wells.</p>
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Beaufort County Development Code

Public Review Draft
February 2012

Prepared For
Beaufort County,
South Carolina
Prepared By:



Opticos Design, Inc.
Berkeley, California

City of Beaufort Development Code

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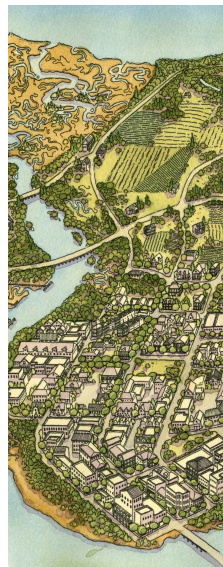
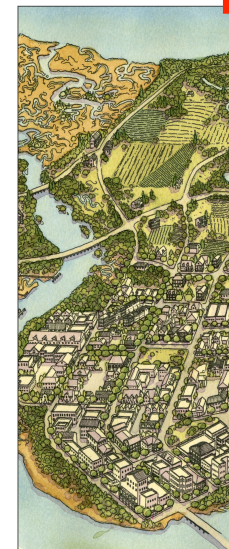
Town of Port Royal Development Code

Final Administrative Draft
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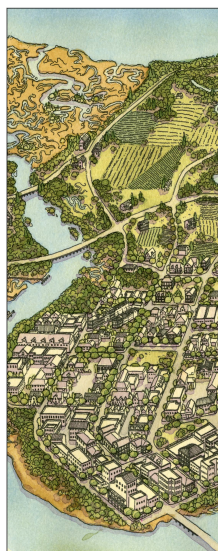


Opticos Design, Inc.



Calibrated to 3 Jurisdictions

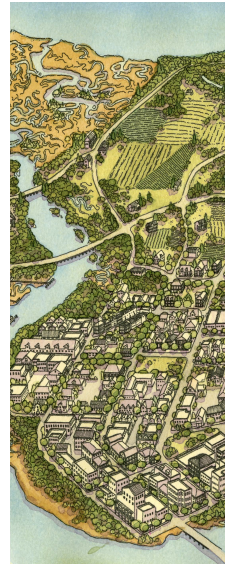
T1  <p>T1 Natural Preserve</p> <p>Intent</p> <p>To preserve areas that contain sensitive habitats, open space, and mixed agricultural uses. This Zone typically does not contain buildings, however small civic buildings or interpretive centers may be located within this Zone.</p> <p>he T1 Natural Zone implements the source protection standards of the existing code.</p> <p>Desired Form</p> <p>Natural environments, with distantly spaced, detached, low rise form, setback from the street.</p> <p>Building Height</p> <p>Where allowed, 2 stories max.</p> <p>General Use</p> <p>Resource Conservation, with limited residential and Open Space Uses</p> <p>Parking Characteristics</p> <p>Low Parking Requirements Individual Parking Lots, No On-Street Parking</p> <p>Roadway Characteristics</p> <p>Narrow travel lanes, with open drainage swales and broad planting strips</p>	T2  <p>T2 Rural</p> <p>Intent</p> <p>To preserve the rural character of Beaufort County. This Zone applies to areas that consist of sparsely settled lands in open or cultivated state. It may include large lot residential, farms where animals are raised or crops are grown, parks, woodlands, grasslands, trails, and open space areas.</p> <p>T2 Rural Zone implements the comprehensive plan goals of preserving the rural character of portions of Beaufort County.</p> <p>Desired Form</p> <p>Distantly spaced, detached, low rise form, setback from the street.</p> <p>Building Height</p> <p>2 stories max.</p> <p>General Use</p> <p>Rural Residential and Agricultural, with limited Civic/Open Space and Service Uses</p> <p>Parking</p> <p>Moderate Parking Requirements Individual Parking Lots, No On-Street Parking</p> <p>Roadway Characteristics</p> <p>Narrow travel lanes, with open drainage swales and broad planting strips</p>	T2RL  <p>T2 Rural-Low</p> <p>Intent</p> <p>To preserve the rural character of Beaufort County. This Zone applies to areas that consist of sparsely settled lands in open or cultivated state, appropriate for very low density activities. It may include large lot residential, farms where animals are raised or crops are grown, parks, woodlands, grasslands, trails, and open space areas.</p> <p>T2 Rural-Low Zone implements the comprehensive plan goals of preserving the rural character of portions of Beaufort County.</p> <p>Desired Form</p> <p>Distantly spaced, detached, low rise form, setback from the street.</p> <p>Building Height</p> <p>2 stories max.</p> <p>General Use</p> <p>Rural Residential and Agricultural, with limited Civic/Open Space and Service Uses</p> <p>Parking</p> <p>Moderate Parking Requirements Individual Parking Lots, No On-Street Parking</p> <p>Roadway Characteristics</p> <p>Narrow travel lanes, with open drainage swales and broad planting strips</p>	T2RC/T2CS  <p>T2 Rural Center</p> <p>Intent</p> <p>To preserve the rural character of Beaufort County. This Zone applies to areas that are in the immediate vicinity of a Rural Crossroads or other important rural intersections, where service and limited commercial uses can cluster in more closely spaced buildings of residential character.</p> <p>T2 Rural Center Zone implements the comprehensive plan goals of preserving the rural character of portions of Beaufort County.</p> <p>Desired Form</p> <p>Detached, low rise form, closely setback from the street loosely define the street edge.</p> <p>Building Height</p> <p>2.5 stories max.</p> <p>General Use</p> <p>Service, limited Light Industrial, Commercial, Civic/Open Space, and Residential Uses</p> <p>Parking</p> <p>Moderate Parking Requirements Individual Parking Lots, No On-Street Parking</p> <p>Roadway Characteristics</p> <p>Narrow travel lanes, with open drainage swales and broad planting strips</p>	T3  <p>T3 Edge</p> <p>Intent</p> <p>To reinforce established neighborhoods, to maintain neighborhood stability and provide a transition between the walkable neighborhood and the Natural Preserves and Waterways.</p> <p>T3 Edge Zone implements the comprehensive plan goals of preserving the rural residential character of portions of Beaufort County, the City of Beaufort and Town of Port Royal.</p> <p>Desired Form</p> <p>Detached, low rise form, setback from the street.</p> <p>Building Height</p> <p>2.5 stories max.</p> <p>General Use</p> <p>Residential with some Civic/Open Space and Service Uses</p> <p>Parking</p> <p>Moderate Parking Requirements to promote walkability and minimize visual impact. Individual Parking Lots, Limited On-Street Parking</p> <p>Roadway Characteristics</p> <p>Narrow travel lanes, with open drainage swales and broad planting strips</p>	T3HN/T3V  <p>T3 Hamlet Neighborhood</p> <p>Intent</p> <p>To reinforce established neighborhoods, to maintain neighborhood stability and provide a transition between the walkable neighborhood and the Natural Preserves and Waterways.</p> <p>T3 Hamlet Neighborhood Zone implements the comprehensive plan goals of preserving the rural residential character of portions of Beaufort County, the City of Beaufort and Town of Port Royal.</p> <p>Desired Form</p> <p>Detached, low rise form, setback from the street.</p> <p>Building Height</p> <p>2.5 stories max.</p> <p>General Use</p> <p>Residential with some Civic/Open Space and Service Uses</p> <p>Parking</p> <p>Low to moderate Parking Requirements to promote walkability and minimize visual impact. Individual Parking Lots, Some On-Street Parking</p> <p>Roadway Characteristics</p> <p>Narrow travel lanes, with open drainage swales and broad planting strips</p>	T3N/T3V-LE  <p>T3 Neighborhood</p> <p>Intent</p> <p>To provide a walkable, predominantly single-family neighborhood that integrates compatible multifamily housing types such as duplexes, and townhouses with limited retail and service uses in an environment conducive to walking and bicycling.</p> <p>T3 Neighborhood Zone implements the comprehensive plan goals of preserving and building upon the walkable character of portions of Beaufort County, the City of Beaufort and Town of Port Royal.</p> <p>Desired Form</p> <p>Closely spaced, detached, low rise form, setback from the street.</p> <p>Building Height</p> <p>2.5 stories max.</p> <p>General Use</p> <p>Residential, with some Civic/Open Space, and Service Uses</p> <p>Parking</p> <p>Low to moderate Parking Requirements to promote walkability and minimize visual impact. Individual Parking Lots, On-Street Parking</p> <p>Roadway Characteristics</p> <p>Narrow to moderate travel lanes, with structured driveways and narrow planting strips</p>	T3N-LI  <p>T3 Neighborhood - Lady's Island</p> <p>Intent</p> <p>To provide a walkable, predominantly single-family house scaled professional office and personal services at the edge of major roadways and commercial areas.</p> <p>T3 Neighborhood Lady's Island Zone implements the comprehensive plan goals of preserving and building upon the walkable character of portions of Beaufort County, the City of Beaufort and Town of Port Royal.</p> <p>Desired Form</p> <p>Closely spaced, detached, low rise form, setback from the street.</p> <p>Building Height</p> <p>2.5 stories max.</p> <p>General Use</p> <p>Residential, with some Civic/Open Space, Professional Office and Personal Service Uses</p> <p>Parking</p> <p>Low to moderate Parking Requirements to promote walkability and minimize visual impact. Individual Parking Lots, On-Street Parking</p> <p>Roadway Characteristics</p> <p>Narrow to moderate travel lanes, with structured driveways and narrow planting strips</p>	T4  <p>T4 Hamlet Center</p> <p>Intent</p> <p>To integrate appropriate, medium-density residential building types such as duplexes, townhouses, small courtyard housing, and medium apartments with limited retail and service uses in an environment conducive to walking and bicycling.</p> <p>T4 Hamlet Center is appropriate for more rural areas, implementing the comprehensive plan goals of creating areas of medium intensity residential with commercial uses in portions of Beaufort County, the City of Beaufort and Town of Port Royal.</p> <p>Desired Form</p> <p>Predominantly detached, closely spaced low rise form, setback from the street.</p> <p>Building Height</p> <p>3 stories max.</p> <p>General Use</p> <p>Residential, with limited Retail, and some Civic/Open Space and Service Uses</p> <p>Parking</p> <p>Low to moderate Parking Requirements to promote walkability and minimize visual impact. On-street parking should be counted toward required nonresidential parking in selected areas. Shared or Individual Parking Lots, On-Street Parking</p> <p>Roadway Characteristics</p> <p>Narrow to moderate travel lanes, with structured driveways and narrow planting strips</p>	T4HC-O/T4VC  <p>T4 Hamlet Center Open</p> <p>Intent</p> <p>To integrate appropriate, medium-density residential building types such as duplexes, townhouses, small courtyard housing, and medium apartments with limited retail and service uses in an environment conducive to walking and bicycling.</p> <p>T4 Hamlet Center Open is appropriate for more rural areas, creating areas of medium intensity residential with commercial uses in portions of Beaufort County, the City of Beaufort and Town of Port Royal.</p> <p>Desired Form</p> <p>Predominantly detached, closely spaced low rise form, setback from the street.</p> <p>Building Height</p> <p>3 stories max.</p> <p>General Use</p> <p>Residential, with Retail, and some Civic/Open Space and Service Uses</p> <p>Parking</p> <p>Low to moderate Parking Requirements to promote walkability and minimize visual impact. On-street parking should be counted toward required nonresidential parking in selected areas. Shared or Individual Parking Lots, On-Street Parking</p> <p>Roadway Characteristics</p> <p>Narrow to moderate travel lanes, with structured driveways and narrow planting strips</p>	T4NC  <p>T4 Neighborhood Center</p> <p>Intent</p> <p>To integrate vibrant main-street commercial and retail environments into neighborhoods, providing access to day-to-day amenities within walking distance, creating potential for a transit stop, and serving as a focal point for the neighborhood.</p> <p>T4 Neighborhood Center Zone implements the comprehensive plan goals of creating areas of higher intensity residential and commercial uses in the City of Beaufort and Town of Port Royal.</p> <p>Desired Form</p> <p>Attached or detached low rise form, located close to or at the street edge.</p> <p>Building Height</p> <p>3 stories max.</p> <p>General Use</p> <p>Residential, with limited Retail, and some Civic/Open Space and Service Uses</p> <p>Parking</p> <p>Low Parking Requirements to promote walkability. Commercial parking handled as part of Downtown Commercial District with off-street (on or near) residential parking. Shared Parking Lots, District Wide Parking Program, On-Street Parking</p> <p>Roadway Characteristics</p> <p>Narrow to moderate travel lanes, with structured driveways and narrow planting strips</p>	T5  <p>T5 Historic Core</p> <p>Intent</p> <p>To support a vibrant, mixed-use environment that encourages compatible evolution and infill within the historic commercial core of the City of Beaufort.</p> <p>T5 Historic Core Zone implements the comprehensive plan goals of creating areas of higher intensity commercial with supporting residential uses in portions of the City of Beaufort and Town of Port Royal.</p> <p>Desired Form</p> <p>Attached mid rise form, located at or near the street edge.</p> <p>Building Height</p> <p>3 stories max.</p> <p>General Use</p> <p>Mixed Uses, with Residential, Retail, Civic/Open Space, and Service Uses</p> <p>Parking</p> <p>Low to no Parking Requirements to promote walkability. Commercial parking handled as part of Downtown Commercial District, with off-street (on or near) residential parking. Shared Parking Lots, District Wide Parking Program, On-Street Parking</p> <p>Roadway Characteristics</p> <p>Narrow to moderate travel lanes, with structured driveways and narrow planting strips</p>	T5MS/UC  <p>T5 Main Street</p> <p>Intent</p> <p>To integrate medium intensity, vertically mixed use development in districts that support a high degree of pedestrian activity.</p> <p>T5 Main Street Zone implements the comprehensive plan goals of creating areas of higher intensity commercial with supporting residential uses in portions of the City of Beaufort and Town of Port Royal.</p> <p>Desired Form</p> <p>Attached mid to high rise form, located at the street edge.</p> <p>Building Height</p> <p>4 stories min., 4 stories max.</p> <p>General Use</p> <p>Mixed Uses, with Residential, Retail, Civic/Open Space, and Service Uses</p> <p>Parking</p> <p>Low to no Parking Requirements to promote walkability. Commercial parking handled as part of Downtown Commercial District, with off-street (on or near) residential parking. Shared Parking Lots, District Wide Parking Program, On-Street Parking</p> <p>Roadway Characteristics</p> <p>Moderate to wider travel lanes, with structured driveways and tree walls</p>
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Beaufort County Development Code

Public Review Draft
February 2012

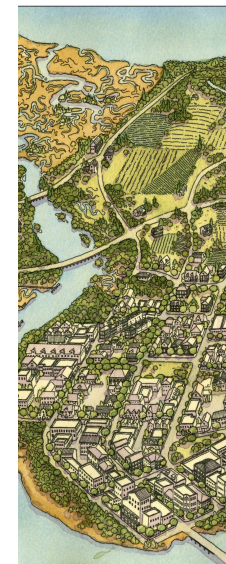
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Town of Port Royal Development Code

Final Administrative Draft
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Prepared For The
Town of Port Royal,
South Carolina
Prepared By:



Calibrated to 3 Jurisdictions

T1 T1NP  T1 Natural Preserve Intent <p>To preserve areas that contain sensitive habitats, open space, and limited agricultural uses. This Zone typically does not contain buildings, however small civic buildings or interpretive centers may be located within this Zone.</p> <p>The T1 Natural Zone implements the source protection standards of the existing code.</p> Desired Form <p>Natural environments, with distantly spaced, detached, low rise form, setback from the street.</p> Building Height <p>Where allowed, 2 stories max.</p> General Use <p>Resource Conservation, with limited residential and Open Space Uses</p> Parking Characteristics <p>Low Parking Requirements Individual Parking Lots, No On-Street Parking</p> Roadway Characteristics <p>Narrow travel lanes, with open drainage swales and broad plantings strips</p>	T2 T2R  T2 Rural Intent <p>To preserve the rural character of Beaufort County. This Zone applies to areas that consist of sparsely settled lands in open or cultivated state. It may include large lot residential, farms where animals are raised or crops are grown, parks, woodlands, grasslands, trails, and open space areas.</p> <p>T2 Rural Zone implements the comprehensive plan goals of preserving the rural character of portions of Beaufort County.</p> Desired Form <p>Distantly spaced, detached, low rise form, setback from the street.</p> Building Height <p>2 stories max.</p> General Use <p>Rural Residential and Agricultural, with limited Civic/Open Space and Service Uses</p> Parking <p>Moderate Parking Requirements Individual Parking Lots, No On-Street Parking</p> Roadway Characteristics <p>Narrow travel lanes, with open drainage swales and broad plantings strips</p>	T2RL  T2 Rural-Low Intent <p>To preserve the rural character of Beaufort County. This Zone applies to areas that consist of sparsely settled lands in open or cultivated state, appropriate for very low density residential, farms where animals are raised or crops are grown, parks, woodlands, grasslands, trails, and open space areas.</p> <p>T2 Rural-Low Zone implements the comprehensive plan goals of preserving the rural character of portions of Beaufort County.</p> Desired Form <p>Distantly spaced, detached, low rise form, setback from the street.</p> Building Height <p>2 stories max.</p> General Use <p>Rural Residential and Agricultural, with limited Civic/Open Space and Service Uses</p> Parking <p>Moderate Parking Requirements Individual Parking Lots, No On-Street Parking</p> Roadway Characteristics <p>Narrow travel lanes, with open drainage swales and broad plantings strips</p>	T2RC/T2CS  T2 Rural Center Intent <p>To preserve the rural character of Beaufort County. This Zone applies to areas that are in the immediate vicinity of a Rural Crossroads or other important rural intersections, where service and limited commercial uses can cluster in more closely spaced buildings of residential character.</p> <p>T2 Rural Center Zone implements the comprehensive plan goals of preserving the rural character of portions of Beaufort County.</p> Desired Form <p>Detached, low rise form, closely setback from the street loosely define the street edge.</p> Building Height <p>2 stories max.</p> General Use <p>Service, limited Light Industrial, Commercial, Civic/Open Space, and Residential Uses</p> Parking <p>Moderate Parking Requirements Individual Parking Lots, No On-Street Parking</p> Roadway Characteristics <p>Narrow travel lanes, with open drainage swales and broad plantings strips</p>	T3 T3 E/T3VE  T3 Edge Intent <p>To reinforce established neighborhoods, to maintain neighborhood stability and provide a transition between the walkable neighborhood and the Natural Preserves and Waterways.</p> <p>T3 Edge Zone implements the comprehensive plan goals of preserving the rural residential character of portions of Beaufort County, the City of Beaufort and Town of Port Royal.</p> Desired Form <p>Detached, low rise form, setback from the street.</p> Building Height <p>2.5 stories max.</p> General Use <p>Residential with some Civic/Open Space and Service Uses</p> Parking <p>Moderate Parking Requirements to promote walkability and minimize visual impact. Individual Parking Lots, Limited On-Street Parking</p> Roadway Characteristics <p>Narrow travel lanes, with open drainage swales and broad plantings strips</p>	T3HN/T3V  T3 Hamlet Neighborhood Intent <p>To reinforce established neighborhoods, to maintain neighborhood stability and provide a transition between the walkable neighborhood and rural areas.</p> <p>T3 Hamlet Neighborhood Zone implements the comprehensive plan goals of preserving the rural residential character of portions of Beaufort County, the City of Beaufort and Town of Port Royal.</p> Desired Form <p>Detached, low rise form, setback from the street.</p> Building Height <p>2.5 stories max.</p> General Use <p>Residential with some Civic/Open Space and Service Uses</p> Parking <p>Low to moderate Parking Requirements to promote walkability and minimize visual impact. Individual Parking Lots, On-Street Parking</p> Roadway Characteristics <p>Narrow travel lanes, with open drainage swales and broad plantings strips</p>	T3N/T3V-LE  T3 Neighborhood Intent <p>To provide a walkable, predominantly single-family neighborhood that integrates compatible multifamily housing types such as duplexes, and townhouses with limited retail and service uses in an environment conducive to walking and bicycling.</p> <p>T3 Neighborhood Zone implements the comprehensive plan goals of preserving and building upon the walkable character of portions of Beaufort County, the City of Beaufort and Town of Port Royal.</p> Desired Form <p>Closely spaced, detached, low rise form, setback from the street.</p> Building Height <p>2.5 stories max.</p> General Use <p>Residential, with some Civic/Open Space, and Service Uses</p> Parking <p>Low to moderate Parking Requirements to promote walkability and minimize visual impact. Individual Parking Lots, On-Street Parking</p> Roadway Characteristics <p>Narrow to moderate travel lanes, with structured driveways and narrow planting strips</p>	T3N-LI  T3 Neighborhood - Lady's Island Intent <p>To provide a walkable, predominantly single-family house scaled professional office and personal services at the edge of major roadways and commercial areas.</p> <p>T3 Neighborhood Lady's Island Zone implements the comprehensive plan goals of preserving and building upon the walkable character of portions of Lady's Island in Beaufort County.</p> Desired Form <p>Closely spaced, detached, low rise form, setback from the street.</p> Building Height <p>2.5 stories max.</p> General Use <p>Residential, with some Civic/Open Space, Professional Office and Personal Service Uses</p> Parking <p>Low to moderate Parking Requirements to promote walkability and minimize visual impact. Individual Parking Lots, On-Street Parking</p> Roadway Characteristics <p>Narrow to moderate travel lanes, with open drainage swales and narrow planting strips</p>	T4 T4HC  T4 Hamlet Center Intent <p>To integrate appropriate, medium-density residential building types such as duplexes, townhouses, small courtyard housing, and medium apartments with limited retail and service uses in an environment conducive to walking and bicycling.</p> <p>T4 Hamlet Center is appropriate for more rural areas, implementing the comprehensive plan goals of creating areas of medium intensity residential with limited commercial uses in portions of Beaufort County, the City of Beaufort and Town of Port Royal.</p> Desired Form <p>Predominantly detached, closely spaced low rise form, setback from the street.</p> Building Height <p>3 stories max.</p> General Use <p>Residential, with limited Retail, and some Civic/Open Space and Service Uses</p> Parking <p>Low to moderate Parking Requirements to promote walkability and minimize visual impact. On-street parking should be counted toward required nonresidential parking in selected areas. Shared or Individual Parking Lots, On-Street Parking</p> Roadway Characteristics <p>Narrow to moderate travel lanes, with structured driveways and narrow planting strips</p>	T4HC-O/T4VC  T4 Hamlet Center Open Intent <p>To integrate appropriate, medium-density residential building types such as duplexes, townhouses, small courtyard housing, and medium apartments with limited retail and service uses in an environment conducive to walking and bicycling.</p> <p>T4 Hamlet Center Open is appropriate for more rural areas, creating areas of medium intensity residential with commercial uses in portions of Beaufort County, the City of Beaufort and Town of Port Royal.</p> Desired Form <p>Predominantly detached, closely spaced low rise form, setback from the street.</p> Building Height <p>3 stories max.</p> General Use <p>Residential, with Retail, and some Civic/Open Space and Service Uses</p> Parking <p>Low to moderate Parking Requirements to promote walkability and minimize visual impact. Commercial parking handled as part of Downtown Commercial District with off-street surface (on or off-street) residential parking. Shared or Individual Parking Lots, On-Street Parking</p> Roadway Characteristics <p>Narrow to moderate travel lanes, with structured driveways and narrow planting strips</p>	T4NC  T4 Neighborhood Center Intent <p>To integrate vibrant main-street commercial and retail environments into neighborhoods, providing access to day-to-day amenities within walking distance, creating potential for a transit stop, and serving as a focal point for the neighborhood.</p> <p>T4 Neighborhood Center Zone implements the comprehensive plan goals of creating areas of higher intensity residential and commercial uses in the City of Beaufort and Town of Port Royal.</p> Desired Form <p>Attached or detached low rise form, located close to or at the street edge.</p> Building Height <p>3 stories max.</p> General Use <p>Residential, with limited Retail, and some Civic/Open Space and Service Uses</p> Parking <p>Low to moderate Parking Requirements to promote walkability. Commercial parking handled as part of Downtown Commercial District with off-street (on or off-street) residential parking. Shared or Individual Parking Lots, On-Street Parking</p> Roadway Characteristics <p>Narrow to moderate travel lanes, with structured driveways and narrow planting strips</p>	T5 T5HC  T5 Historic Core Intent <p>To support a vibrant, mixed-use environment that encourages compatible evolution and infill within the historic commercial core of the City of Beaufort.</p> <p>T5 Historic Core Zone implements the comprehensive plan goals of creating areas of higher intensity commercial with supporting residential uses in portions of the City of Beaufort and Town of Port Royal.</p> Desired Form <p>Attached mid rise form, located at or near the street edge.</p> Building Height <p>3 stories max.</p> General Use <p>Mixed Uses, with Residential, Retail, Civic/Open Space, and Service Uses</p> Parking <p>Low to no Parking Requirements to promote walkability. Commercial parking handled as part of Downtown Commercial District, with off-street (on or off-street) residential parking. Shared Parking Lots, District Wide Parking Program, On-Street Parking</p> Roadway Characteristics <p>Narrow to moderate travel lanes, with structured driveways and tree-ways</p>	T5MS/UC  T5 Main Street Intent <p>To integrate medium intensity, vertically mixed use development in districts that support a high degree of pedestrian activity.</p> <p>T5 Main Street Zone implements the comprehensive plan goals of creating areas of higher intensity commercial with supporting residential uses in portions of the City of Beaufort and Town of Port Royal.</p> Desired Form <p>Attached mid to high rise form, located at the street edge.</p> Building Height <p>2 stories min., 4 stories max.</p> General Use <p>Mixed Uses, with Residential, Retail, Civic/Open Space, and Service Uses</p> Parking <p>Low to no Parking Requirements to promote walkability. Commercial parking handled as part of Downtown Commercial District, with off-street (on or off-street) residential parking. Shared Parking Lots, District Wide Parking Program, On-Street Parking</p> Roadway Characteristics <p>Moderate to wider travel lanes, with structured driveways and tree-ways</p>
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Beaufort County Development Code

Public Review Draft
February 2012

Prepared For
Beaufort County,
South Carolina
Prepared By:



City of Beaufort Development Code

Public Review Draft
February 2012

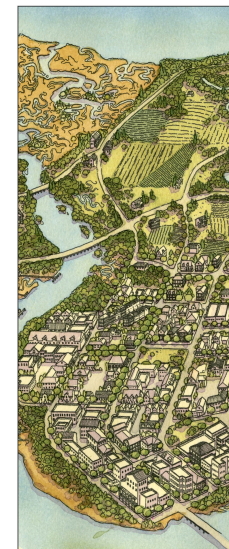
Prepared For
City of Beaufort,
South Carolina
Prepared By:



Town of Port Royal Development Code

Final Administrative Draft
August 2011

Prepared For The
Town of Port Royal,
South Carolina
Prepared By:





T3 Neighborhood

Intent

To provide a walkable, predominantly single-family neighborhood that integrates compatible multifamily housing types such as duplexes, and bungalow courts within walking distance to transit and commercial areas.

T3 Neighborhood Zone implements the comprehensive plan goals of preserving and building upon the walkable character of portions of Beaufort County, the City of Beaufort and Town of Port Royal.

Desired Form

Closely spaced, detached, low rise form, setback from the street.

Building Height

2.5 stories max.

General Use

Residential, with some Civic/Open Space, and Service Uses

Parking

Low to moderate Parking Requirements to promote walkability and minimize visual impact.

Individual Parking Lots, On-Street Parking



T4 Neighborhood Center

Intent

To integrate vibrant main-street commercial and retail environments into neighborhoods, providing access to day-to-day amenities within walking distance, creating potential for a transit stop, and serving as a focal point for the neighborhood.

T4 Neighborhood Center Zone implements the comprehensive plan goals of creating areas of higher intensity residential and commercial uses in the City of Beaufort and Town of Port Royal.

Desired Form

Attached or detached low rise form, located close to or at the street edge.

Building Height

3 stories max.

General Use

Residential, with limited Retail, and some Civic/Open Space and Service Uses

Parking

Low Parking Requirements to promote walkability, Commercial parking handled as a part of Downtown Commercial District with off-street (surface or structured) residential parking.





T5 Main Street

Intent

To integrate medium intensity, vertically mixed use development in districts that support a high degree of pedestrian activity.

T5 Main Street Zone implements the comprehensive plan goals of creating areas of higher intensity commercial with supporting residential uses in portions of the City of Beaufort and Town of Port Royal.

Desired Form

Attached mid to high rise form, located at the street edge.

Building Height

2 stories min., 4 stories max.

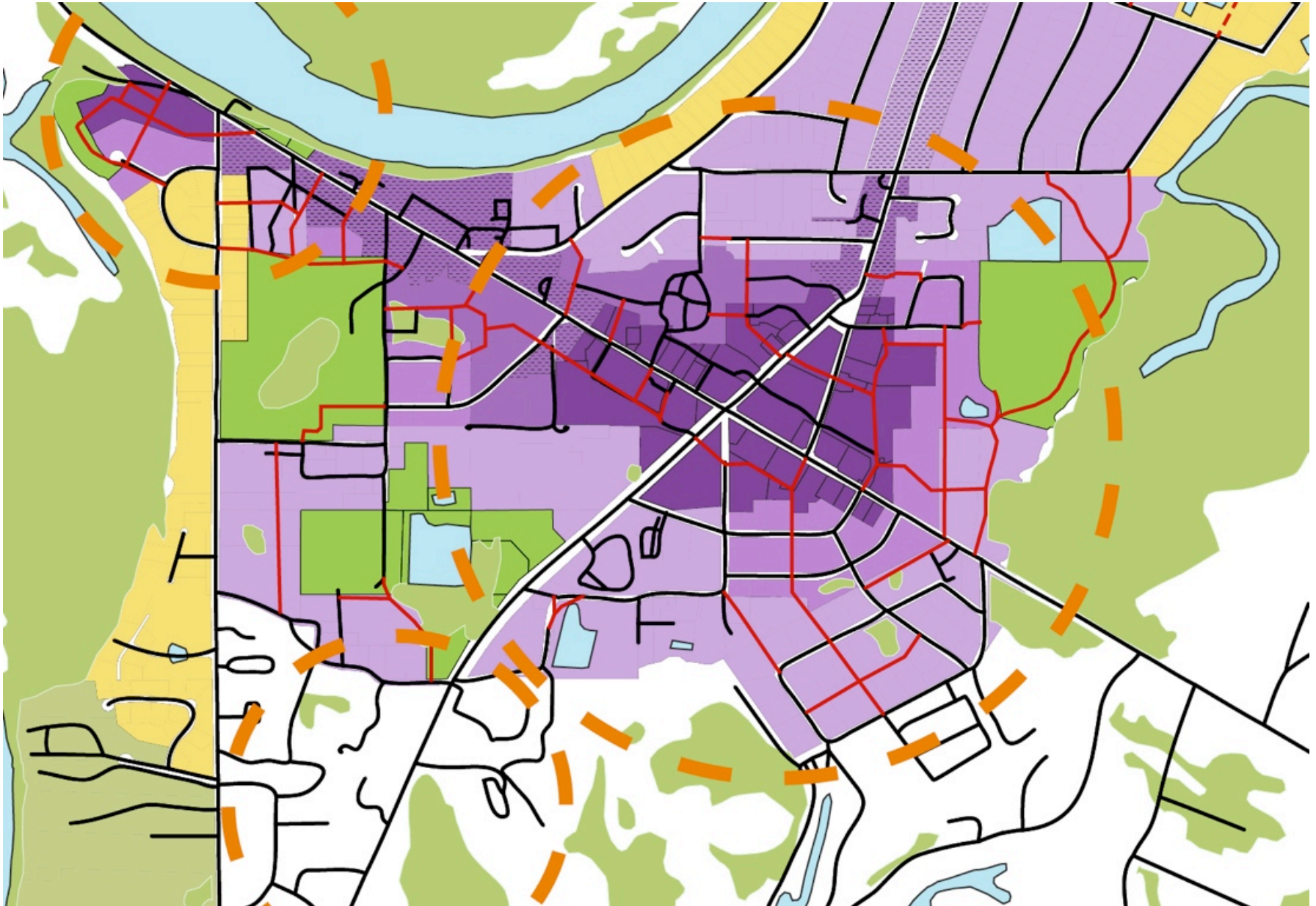
General Use

Mixed Uses, with Residential, Retail, Civic/Open Space, and Service Uses

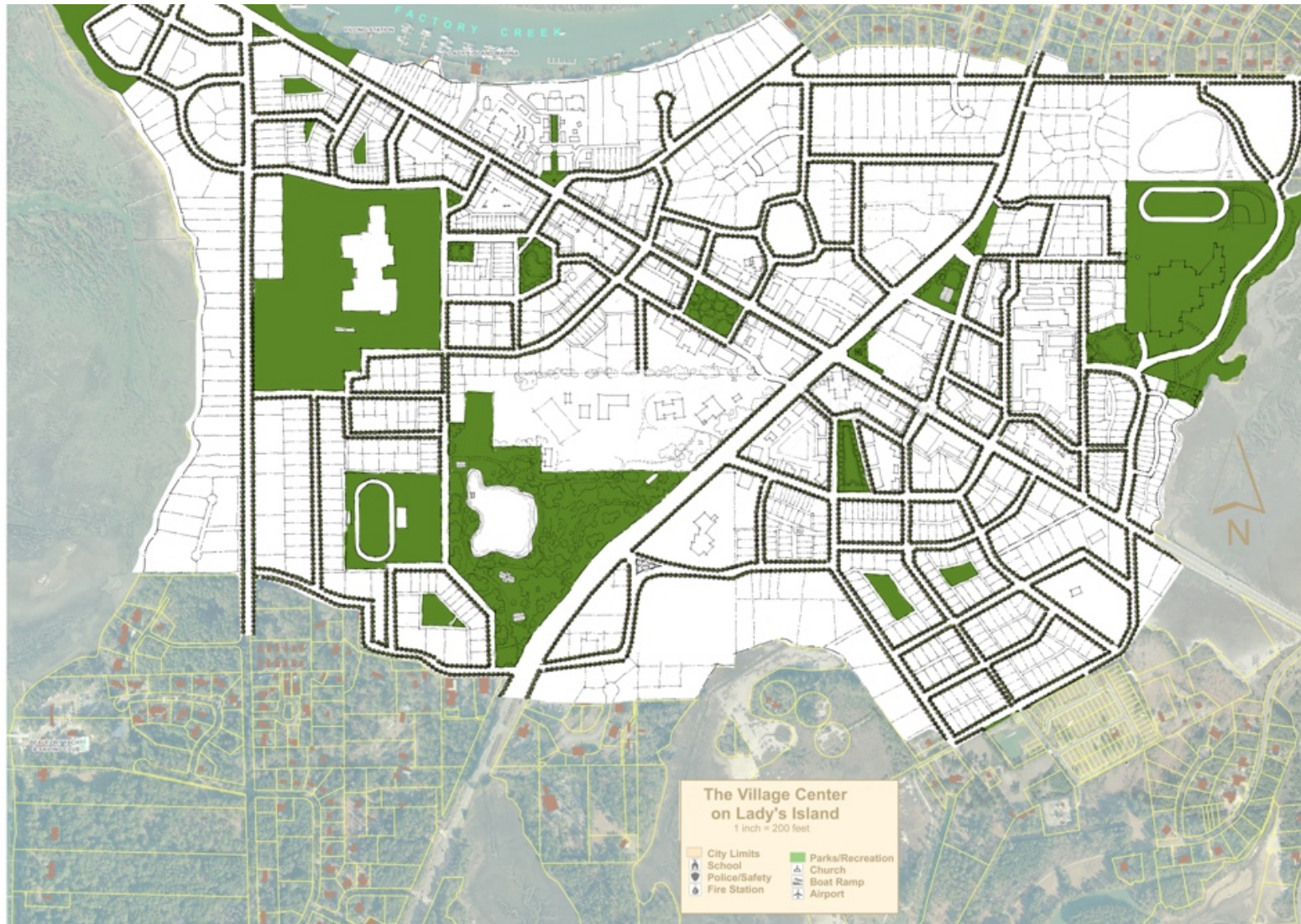
Parking

Low to no Parking Requirements to promote walkability; Commercial parking handled as part of a Downtown Commercial District, with off-street (often structured) residential parking.

Proposed Regulating Plan



Proposed Illustrative Framework



T4-Neighborhood Center Concept



T4-Neighborhood Center Character



3

Standards as Templates

Building Type Regulations for the 21st Century

“Missing Middle” Housing Types



“The Missing Middle:” New Orleans, LA



Townhouses



Duplex



Fourplex



Small Lot, Small Unit Single Family

“ The Missing Middle:” Duluth, MN



Mansion Apartment



Fourplex

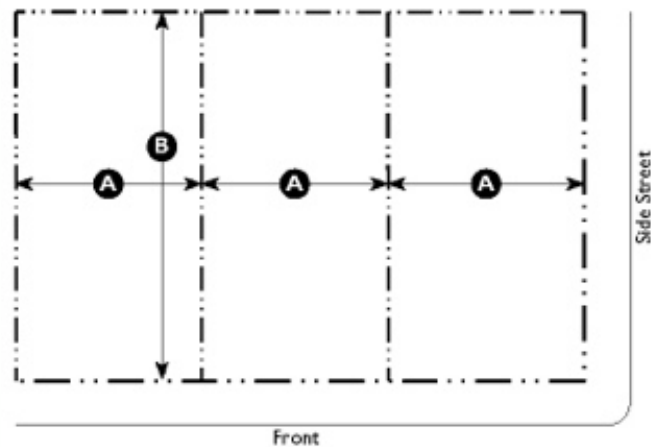


Rowhouses



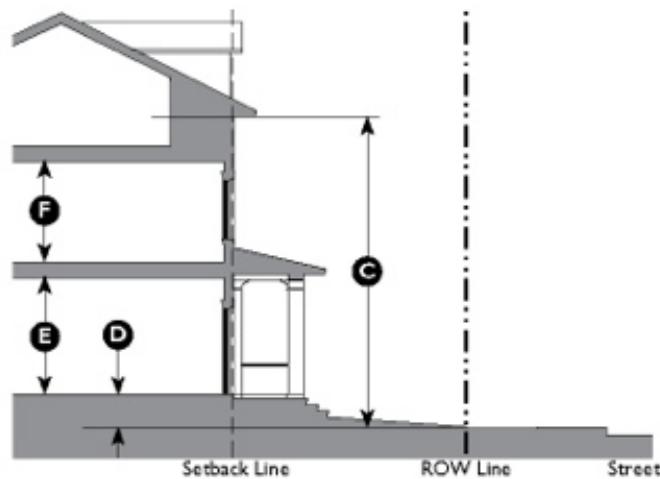
Duplex

Default to Building Types



Key

--- ROW / Lot Line --- Building Setback Line



Key

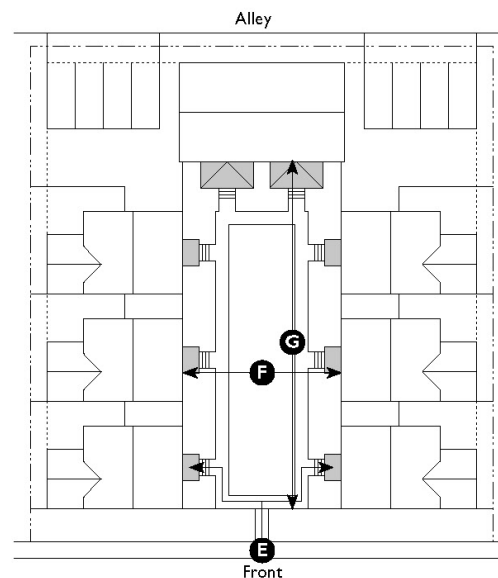
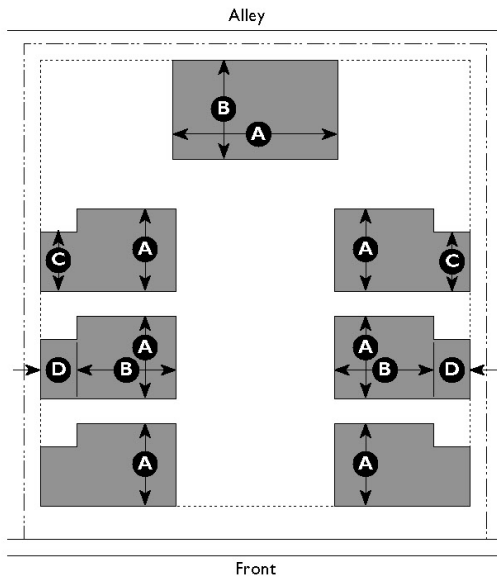
--- ROW / Lot Line --- Building Setback Line

C. Allowed Building Types

Building Type	Lot		Standards
	Width A	Depth B	
Carriage House	n/a	n/a	15.05.210.050
Detached House:	50' min.;	80' min.	15.05.210.070
Village	75' max.		
Detached House:	30' min.;	80' min.	15.05.210.080
Cottage	50' max.		
Bungalow Court	75' min.;	100' min.	15.05.210.090
	150' max.		
Duplex	25' min.;	100' min.	15.05.210.100
	75' max. ¹		
Rowhouse	18' min.;	80' min.	15.05.210.110
	35' max.		
Multi-Plex: Small	50' min.;	100' min.	15.05.210.120
	75' max.		
Courtyard Building	75' min.;	100' min.	15.05.210.150
	100' max.		

¹ Maximum combined width of two lots.

Building Type Standards



Key

- ROW / Property Line
- Setback Line
- Building

B. Number of Units

Units 3 min.; 9 max.

C. Building Size and Massing

Height

Height 1½ stories max.

Main Body

Width 32' max. **A**

Depth 24' max. **B**

Secondary Wing(s)

Width 24' max. **C**

Depth 24' max. **D**

Accessory Structure(s)

Width 24' max.

Depth 24' max.

Key

- ROW / Property Line
- Setback Line
- Frontage
- Private Open Space

D. Allowed Frontage Types

Porch: Projecting [15.05.220.050](#)

Stoop [15.05.220.070](#)

E. Pedestrian Access

Main Entrance Location Front **E**

F. Private Open Space

Width 20' min. **F**

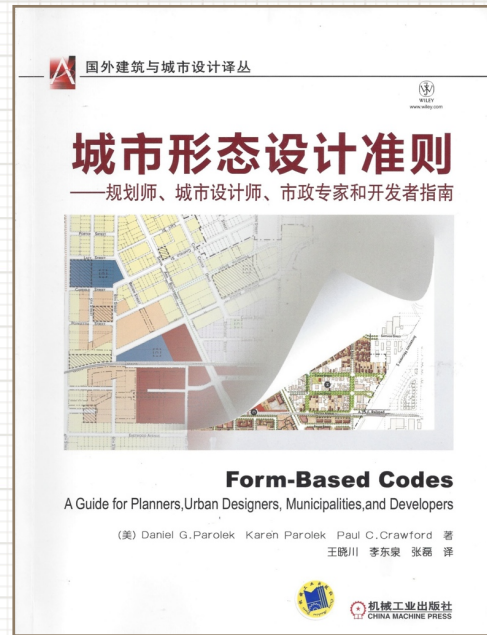
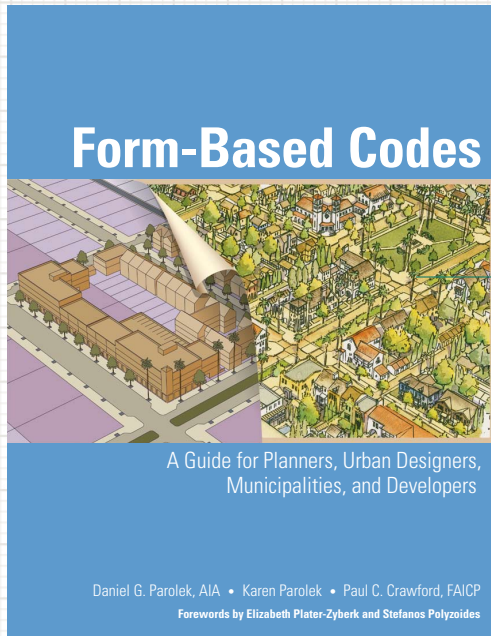
Depth 20' min. **G**

Area 400 sf min.

Required street setbacks and driveways shall not be included in the private open space area calculation.



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